

**MINUTES OF THE PLAN COMMISSION MEETING
CITY OF CHIPPEWA FALLS
MONDAY, APRIL 11, 2022 – 6:30 PM**

The Plan Commission met in City Hall on Monday, April 11, 2022 at 6:30 P.M. Attending were Commissioners Mike Tzanakis, Beth Arneberg, Jerry Smith, Alderperson Jason Hiess, Secretary Rick Rubenzer, Vice-Chairperson Tom Hubbard and Mayor Greg Hoffman. Commissioners Dave Cihasky, Greg Misfeldt, Dennis Doughty and Dan Varga were absent. Also attending were Asssistant City Engineer Bill McElroy, City Inspector Paul Lasiewicz, City Planner Brad Hentschel and those on the attached attendance sheet.

1. **Motion** by Tzanakis, seconded by Hubbard to approve the minutes of the March 7, 2022 Plan Commission meeting. **All present voting aye. Motion carried.**

2. Plan Commission Secretary Rubenzer stated that the reason there was a second public hearing for the Boys and Girls Club of the Greater Chippewa Valley to operate on parcel #22909-3644-07000000 in the SE ¼ of the SE ¼, Section 36, T29N, R9W, located at 650 Bridgewater was that the common space of the Northridge Homeowners Association had not been sent a notice of the first public hearing. He noted a new site plan showing light and sign locations was included with the Conditional Use Permit Resolution No. 2022-04. Trevor Bohland established the need for the Chippewa Falls Boys and Girls Club to expand to the 650 Bridgewater Avenue location. He restated there would be 200 children when at full capacity, there would be 23 part-time and 4 full-time employees. There would be some exceptions to the stated hours of operation for the Thanksgiving feast, teen dance night and special family program nights.
Mayor Hoffman opened a public hearing at 6:37 pm to consider Chippewa Falls Plan Commission Conditional Use Permit Resolution No. 2022-04 allowing the Boys and Girls Club of the Greater Chippewa Valley – Chippewa Falls Center to operate a boys and girls club including expanded use and renovation on parcel #22909-3644-07000000 in the SE ¼ of the SE ¼, Section 36, T29N, R9W, located at 650 Bridgewater Avenue in the City of Chippewa Falls.
Ann Kaiser, CEO of the Eau Claire Boys and Girls Club spoke in favor, stating the goal is to encourage children to take ownership, be good neighbors and leaders in the community. Children delivered welcome baskets to neighbors. The purpose for Chippewa Falls is for positive programming under adult supervision. The Chippewa Falls Boys and Girls Club has been in existence since 2012. She stated that the Eau Claire teen center is very successful. No “drop-ins” or just “hanging around” will be allowed at the Chippewa Falls facility. All activities will be supervised. Example activities are homework, science activities, kitchen lab and career explorations that teach children to respect themselves and others. Every dollar invested in the club returns \$9.60 to the community.
Gregg Mizerk of 629 Northridge Drive spoke in favor stating he is a big supporter of a boys and girls club in Chippewa Falls. His subdivision has been quiet and the outside of the club has been neat and clean since the Boys and Girls Club have been present in the neighborhood and he hasn’t heard any negative comments. He welcomes the Boys and Girls Club and thinks they will be a great neighbor.

Please note, these are draft minutes and may be amended until approved by the Common Council.

Justin Agnew of 1523 Terrill Street spoke in favor stating one of his daughters attended the Boys and Girls Club in Chippewa Falls. He was comforted and relieved knowing his daughter could go somewhere safe after school and gain life skills. He can observe the 650 Bridgewater Avenue location from his house.

Bill Quirk spoke in favor stating he was on the CFMIT board for eight years, two as vice-president and 4 as president. There hasn't been a single incident since the Boys and Girls Club have been tenants (2012). Bills are paid on time and the Boys and Girls Club are an outstanding organization.

No one spoke against.

Mayor Hoffman closed the public hearing at 6:46 pm.

Motion by Rubenzer, seconded by Hubbard to approve the Chippewa Falls Plan Commission Conditional Use Permit Resolution No. 2022-04 allowing the Boys and Girls Club of the Greater Chippewa Valley – Chippewa Falls Center to operate a boys and girls club including expanded use and renovation on parcel #22909-3644-07000000 in the SE ¼ of the SE ¼, Section 36, T29N, R9W, located at 650 Bridgewater Avenue in the City of Chippewa Falls. **All present voting aye. Motion carried.**

3. Sean Bohan appeared and presented the attached Final Plat of Park West II (phase 1) including twenty-four twin home lots, sixteen single family lots, ten town home lots, outlot 89 where the club house will be located and outlots for stormwater best management practices. He asked for the city to take ownership and maintenance of the proposed storm pond on Elm Street. A lengthy discussion followed. Jim Rooney stated that an estimated \$880,000 of the tax revenue (split among taxing agencies) would be generated annually at build out. Plan Commission Secretary Rubenzer stated the stormwater utility personnel would be responsible to maintain the storm pond, there are presently 3½ storm utility personnel and not enough to take on additional duties. Mr. Rooney said homeowner associations are perceived as negative to perspective buyers and there wasn't a need for an HOA amongst the Carli Court owners except to maintain the said storm pond. Discussion followed as to if this would set a precedent for future developments.

Motion by Rubenzer, seconded by Tzanakis to recommend the Common Council approve the attached Final Plat of Park West II (phase 1) contingent on;

- 1) Receipt of the plat review fees.

- 2) Submission and approval of a storm water management plan.

All present voting aye. Motion carried.

4. The Plan Commission considered incorporating the attached Twin Home Construction Requirements and Standards into Chapter 17, Zoning Code of the Chippewa Falls Municipal Code. Plan Commission Secretary Rubenzer stated amendments to Chapter 17 would be ordinance revisions requiring two readings and a public hearing. City Planner Hentschel presented the attached survey of twenty-three communities/cities as to how Twin Homes were handled in their municipalities. He suggested Twin Homes be permitted uses in the existing R-2 Two Family Residential District and in all the denser residential districts. He suggested that the single family districts continue to require a planned development conditional use permit for Twin Homes. City Inspector Lasiewicz concurred.

Motion by Rubenzer, seconded by Tzanakis to recommend the Common Council schedule a public hearing to consider amending Chapter 17, Zoning Code of the Chippewa Falls

Municipal Code to make Twin Homes permitted uses in the existing R-2 Two Family and denser residential districts and single family districts continue to require a planned development conditional use permit for Twin Homes. **All present voting aye. Motion carried.**

5. The Plan Commission considered the attached Certified Survey Map along the south side of Chippewa Crossing Boulevard submitted by Professional Land Surveyor Eric Sturm on behalf of Wangard Partners. Plan Commission Secretary Rubenzer stated the Certified Survey Map had been reviewed by County Surveyor Wenz. Commissioner Hiess stated the seal and signature should be a permanent non-fading black image on the original.

Motion by Hoffman, seconded by Rubenzer to recommend the Common Council approve the attached Certified Survey Map along the south side of Chippewa Crossing Boulevard submitted by Professional Land Surveyor Eric Sturm on behalf of Wangard Partners contingent on;


- 1) Receipt of the Certified Survey Map review fees.
- 2) Submission and approval of a storm water management plan.
- 3) Changing the colored signature/seal to non-fading black image.
- 4) Recording of the approved Certified Survey Map with the Chippewa County Register of Deeds and providing a copy to the Chippewa Falls Engineering Department.

All present voting aye. Motion carried.

6. Luke Rykel of Hoeft Builders appeared to support the Planned Development Conditional Use Permit Application from Southside Holdings LLC for a zero front yard setback for parking and a shared driveway for a two-tenant building on Lot 6, Block 3, Lake Wissota Business Park First Addition in the City Chippewa Falls, Chippewa County Wisconsin. He gave background for the project. City Planner Hentschel stated the city need for the Planned Development Conditional Use Permit was for a zero property line setback for parking along the north right-of-way of County I and for a shared driveway along the west property line of said lot #6.

Motion by Hubbard, seconded by Hiess that the Plan Commission conduct a public hearing to consider a Planned Development Conditional Use Permit Application from Southside Holdings LLC for a zero front yard setback for parking and a shared driveway for a two-tenant building on Lot 6, Block 3, Lake Wissota Business Park First Addition in the City Chippewa Falls, Chippewa County Wisconsin. Said public hearing to be scheduled contingent on receipt of the advertising and administrative fees and proper notification of adjacent property owners. **All present voting aye. Motion carried.**

7. **Motion** by Hubbard seconded by Tzanakis to adjourn. **All present voting aye. Motion carried.** The Plan Commission adjourned at 7:45 P.M.


Richard J. Rubenzer, P.E., Secretary
Plan Commission

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PLAN COMMISSION ATTENDANCE SHEET

DATE: April 11, 2022

NAME	COMPANY REPRESENTING	ADDRESS	PHONE #	EMAIL
Bill Quirk	CFMIFIT	211 Grand Ave	715-720-6562	bill.quirk@millercoops.com
Mollie Hogan	Boys + Girls Club		715-894-7436	muhogan@cvclubs.org
Justin Agnew	CITIZEN / Boys + Girls	1523 TERRILL ST	715-211-6341	JUSTAGNEW@YCHOO.CO
Nick Rooney	Heartland	13167 CITY HWY 00	715-450-5715	NICKR@HeartlandWI.com
Jim Rooney	Heartland	13167 7646 CT 17876 ST	715-5774412	capitol@koyhole.com jimr@koyhole.com
GREG MIZENK	NORTH AVENUE DR HEMPTOWN PA	629 NORTH AVENUE DR CF 54729	715 215 0512	gfmiz@etkegmil.com
SEAN BOTTAN	AEC		715-552-0930	sbottan@aec.engineering
Alex Kaiser	Boys + Girls Club		715-577 8295	akaiser@ CVclubs.org
Wes Bullman	Northridge Horsemen's Assoc.	621 Northridge CT	715 529 8600	bullman5383@ sbcsjglobal.net
MEYON BOSTERMAN	Boys + Girls Club		715-552-1818	MEYON@ ECHOQUESTCENTR.COM
Ulke Tynkova	HOART	1450 River Edge Dr AT Farm	715-215-1403	ulke@hoart.biz PDS@hoart.com

**MINUTES OF THE PLAN COMMISSION MEETING
CITY OF CHIPPEWA FALLS
MONDAY, MARCH 7, 2022 – 6:30 PM**

The Plan Commission met in City Hall on Monday, March 7, 2022 at 6:30 P.M.

Attending were Commissioners Dave Cihasky, Greg Misfeldt, Mike Tzanakis, Dan Varga, Beth Arneberg, Jerry Smith, Alderperson Jason Hiess, Secretary Rick Rubenzer and Vice-Chairperson Tom Hubbard. Mayor Greg Hoffman and Commissioner Dennis Doughty were absent. Also attending were City Planner Brad Hentschel, Assistant City Engineer Bill McElroy and those on the attached attendance sheets. Jim Rooney attended remotely via Webex.

1. **Motion** by Tzanakis, seconded by Varga to approve the minutes of the February 7, 2022 Plan Commission meeting. **All present voting aye. Motion carried.**

2. **Motion** by Smith, seconded by Hiess to approve the minutes of the February 14, 2022 Plan Commission meeting. **All present voting aye. Motion carried**

3. Sean Bohan of Advanced Engineering Concepts appeared and presented Planned Development Conditional Use Permit Resolution No. 2022-02. Mr. Bohan stated that Planned Development Conditional Use Permit Resolution No. 2021-03 had been approved in 2021 which allowed eight unit and 12 unit apartments in Park West and single family west of and adjacent to Jake Place. He noted that the development was consistent with the original preliminary concepts approved in 2007 with Planned Development Conditional Use Permit Resolution No. 2007-03. He detailed the proposed new conditions of the two twenty-four unit apartments on 5.13 acres of recently purchased former right-of-way and replacing twelve single family lots with twelve twin homes (24 units). He continued that pedestrian walks would serve the twenty-four unit apartments and connect to an existing crosswalk at Elm Street and Hilary Street and also connect to the Willow Creek subdivision north of Bridgewater Avenue. He stated tot lots had been added near the twenty-four unit apartments and a club house had also been added. Single family lots adjacent and west of Jake Place would remain as originally proposed while twin homes would replace proposed single family on the west side of the new proposed street. Commissioner Cihasky had concerns about future proposals to replace single family lots with twin homes. Mr. Bohan continued that stormwater facilities were already in place and that storm runoff rates were significantly reduced from pre-development conditions. After conferring with Chippewa County about the Park West southern access onto County N, a traffic impact analysis would now be done. The Drake Drive connection between Bridgewater Avenue and County N will be completed before any additional building permits are issued. He continued that property density had increased from 4.98 units/acre to 5.67 units/acre. Units had been added but so had acreage. This was similar to the originally approved concept in 2007. The overall development estimates 185 additional children including 134 school age children. The development will occur over a number of years. The market would determine when the twenty-four unit apartments would be constructed. Alderperson Hiess requested additional details about the pedestrian walkway along Elm Street. Would it be attached to the County N/Elm Street shoulder or stand alone? Hiess asked why the twin home change? Mr. Bohan answered that buying both sides of twin homes normally doesn't cash flow. The cost of affordable single family houses has gone sky high. Twin homes provide an affordable option. Developer Rooney stated that the intent is to develop single family and twin homes with C&M Builders. This is the same builder as for Willow Creek north of Bridgewater Avenue for the previous ten years. Once platted, C&M Builders and Rooney will have partnership. The twin homes will be sold as Rooney has no desire to own and rent them out. Misfeldt stated that the city was behind the times as far as twin homes went and that they would be sold very fast. Tzanakis asked if lots could be sold to individuals. Rooney stated that only two lots in Willow Creek were sold to individuals. It's just not a common occurrence.

Tzanakis and Smith hypothesized that students would cross County N at Tropicana Boulevard rather than walk east and cross at Hilary Street.

Vice-Chairperson Hubbard opened a public hearing.

Lorraine Hall at 1384 Jake Place appeared and was concerned about previous Planned Development Conditional Use Permits changing from multi-family to corn fields and then to multi-family and twin homes. Also concerned with traffic at Hilary Street and Elm Street and school age children crossing Elm Street/County N. Also, concerned about how close twin homes are together and storm runoff from the twin homes. Scott Steinmetz of 929 Bluffview Court appeared with the biggest concern about storm runoff. He understands he doesn't own the ditches but plants in the ditch because it's wet. He also was concerned with traffic. Tropicana Boulevard isn't wide enough and radii aren't large enough. Construction trash and dirt blow into his yard. The watermain connection in the easement through his yard wasn't re-established to his satisfaction. Margaret Kitze of 1384 Jake Place appeared with concerns that the property line is ten feet from her deck and thinks development would lower her property value. She believes there should be additional sidewalk included on Hilary Street and Macomber Street. She would like to buy an adjacent lot from Rooney. Andrew Nelson of 1203 Macomber Street appeared with a request to have the twin homes and single family homes access be to the west to Park West and not open to the east to Macomber Street. He would like to buy an adjacent lot from Rooney. Jackie Price of 1122 Macomber Street appeared and hypothesized that traffic would triple on Macomber Street. She was concerned that there weren't sidewalks on Macomber street and that the Hilary St./Macomber St. intersection was an uncontrolled intersection. She thinks children could be hurt with additional traffic. Wants to stick with original plan for twenty-nine single family homes. Mark Price also at 1122 Macomber Street appeared and thought there would be more children than 185 with 200 new apartment units. Also thought crossing Elm Street at Hilary Street was a poor idea. Wants more sidewalk and more controlled intersections. Concerned that plans change every eleven months. Jason Weindorfer of 1312 Hilary Street appeared and likes that houses in the current neighborhood are custom and is concerned that new houses will all look the same. He would like to see the single family lots remain instead of changing to twin homes. Ted Solberg of 1279 Jake Place appeared. He has concerns with traffic control but thinks that the development is needed. He is concerned that Hilary St./Macomber St. is an uncontrolled intersection. Walt Matchim of 1276 Jake Place appeared with concern that twin homes along the west side of the new proposed street isn't a good fit.

Vice-Chairperson Hubbard closed the public hearing at 7:42 pm.

The Plan Commission then discussed separating the resolution into two parts. Misfeldt noted that twin homes are new to Chippewa Falls but very popular for years in surrounding communities. He noted that the existing Halmstad neighborhood on the city's southside was a denser neighborhood. Smith was concerned that traffic increase was a major concern. He wanted results for the Traffic Impact Analysis, the school district and the bus company's opinion prior to approval. Arneberg asked is the sidewalk could be constructed on Tropicana Boulevard between Mansfield Street and County N. Director of Public Works Rubenzer stated that by state statute, adjacent owners in the Town of Wheaton would be responsible for snow removal and maintenance and that he didn't believe the city could require sidewalk construction in the Town of Wheaton. Smith stated that Wisconsin Green had a signal light at STH #178 and County I, so it was different than Park West.

Motion by Varga, seconded by Hubbard to approve Planned Development Conditional Use Permit Resolution No. 2022-02 granting Rooney Properties Wisconsin LLC to develop the twenty-four unit apartments on 5.13 acres of recently acquired right-of-way and to develop twelve twin homes (24 units) instead of twelve single family lots along the west side of the new proposed street west of Jake Place contingent on pending results of a Traffic Impact Analysis for Park West II subdivision. **A roll call vote was taken. Voting aye were Varga, Hubbard, Cihasky, Misfeldt, Tzanakis, Arneberg and Rubenzer. Voting naye were Smith and Hiess. The motion was approved on a 7-2 vote.**

The attendees for the Park West II subdivision left the meeting at this point.

4. Trevor Bohland of the Chippewa Area Boys and Girls Club appeared to support Conditional Use Permit Resolution No. 2022-03. He has been on the Board for fifteen years while serving two years as president. The Boys and Girls Club has been located in the Chippewa Valley Museum since 2012 and have been looking for a new location for expansion for about three years. Plans are to perform revisions in the existing building with a 6600 sf expansion. The goal is to increase programming from their existing 70 children to 200 children. They currently use a space at the Masonic Lodge, YMCA and Chippewa Valley Museum and utilize Irvine Park whenever possible. Currently snacks are offered but the kitchen and cafeteria are inadequate. Mental health professionals are on staff. There would be two phases. Chippewa Falls Director Mollie Hogan appeared and stated children go outside in small groups. Would like perimeter fence but a fence isn't in the current budget. The national staffing ratios are 10 children per boys and girls club staff. The estimate is it will take ten years to get to the full 200 children capacity. Current capacity at the Masonic Lodge is about 120. There is a waiting list of 70 children. Vice Chairperson Hubbard opened a public hearing at 8:43 pm.

Erik Anderson of 612 Bridgewater Avenue appeared. His family lives on the adjacent east side of 650 Bridgewater Avenue. He recognized a need for the Boys and Girls Club but wondered if his home, which is currently for sale, would be devalued. He asked if Plan Commission members lived there if they would be in favor. Gregg Mizerk of 629 Northridge Drive appeared. He was a previous president of the Northridge Drive Homeowners Association. He stated this would be a great asset for the neighborhood and supported Planned Development Conditional Use Permit Resolution No. 2022-03. Mel Bollom of 621 Northridge Drive appeared and stated he wasn't notified of the public hearing until earlier in the day. He stated he was on the Museum Board when the Boys and Girls Club was approved to locate downtown in the existing location. He isn't in favor of a teen center or gym. He was concerned that all homeowner's association owners weren't notified and that the notice stated "in the existing building" but didn't list the addition. Julius Lee of 663 Cedarwood Court appeared and stated he did not want to see a brick building when looking out his back window. He would rather see the Boys and Girls Club utilize the fairgrounds. Ann Kaiser, CEO of the Boys and Girls Club appeared to support the Conditional Use Permit Resolution No. 2022-03. She said she appreciates and respects the concerns of the neighbors and children are taught the same. The building is perfect for use by children. The gymnasium will be a recreation space but not rented out. Similar conversations about teen centers occurred in Menomonie and failed teen centers were in unstructured environments. This is a planned 2-3 million dollar investment with 2.5 million dollars already committed. Teens would be separate from second graders. Heidi Ottaveare of 8115 160th Street spoke on behalf of her parents Fred and Carol Holtz and would like the exterior lighting explained. Bright lighting would have a big impact on the neighborhood.

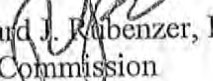
Vice-Chairperson Hubbard closed the public hearing at 9:12 pm.

Director of Public Works Rubenzer noted that public hearing notices stated the use being proposed and states that a full copy of the permit resolution is available in the Engineering Department prior to the hearing. The notice doesn't list all details of the permit. He continued that notices are sent to all adjacent property owners within 150 feet of the perimeter of the parcel on which the Conditional Use Permit would take place.

Motion by Tzanakis, seconded by Hiess to approve Conditional Use Permit Resolution No. 2022-03 allowing the Boys and Girls Club of the Greater Chippewa Valley – Chippewa Falls Center to operate a boys and girls club on parcel #22909-3644-07000000 located at 650 Bridgewater Avenue contingent on City Attorney Ferg's review and opinion that the public hearing notice that was sent to adjacent property owners was properly stated and sent to the proper owners. **A roll call vote was taken. Voting aye were Tzanakis, Hiess, Cihasky, Misfeldt, Varga, Arneberg, Smith, Rubenzer and Hubbard. Motion was approved on a 9-0 vote.**

The attendees for the Boys and Girls Club hearing left the meeting at this point.

5. The Plan Commission considered the attached Twin Home Construction Requirements and Standards. Existing City of Chippewa Falls Municipal Code doesn't address Twin Homes. City Planner Hentschel has examined about six different cities codes and Chippewa County codes concerning Twin Homes and about half require conditional use permits. Twin Homes could be added to existing code as a permitted use in certain districts or added as its own district or remain as a conditional or planned development conditional use, **No action was taken.**
6. The Plan Commission considered the attached Certified Survey Map for Lot 1 of CSM #801 and a part of the Northwest ¼ of the Northwest ¼ Section 17, T28N, R8W, located at 303 and 409 East Prairie View Road, submitted by Registered Land Surveyor Michael S. Ward on behalf of Chippewa Holdings LLC and U-Haul. After discussion;
Motion by Hiess, seconded by Varga to approve Certified Survey Map for Lot 1 of CSM #801 and a part of the Northwest ¼ of the Northwest ¼ Section 17, T28N, R8W, located at 303 and 409 East Prairie View Road, submitted by Registered Land Surveyor Michael S. Ward on behalf of Chippewa Holdings LLC and U-Haul contingent upon all revisions from County Surveyor Sam Wenz and receipt of all Certified Survey Map review fees. **All present voting aye. Motion carried.**
7. The Plan Commission considered the attached Preliminary and Final Plats of Autumn Winds Subdivision located in the Town of Lafayette, submitted by Hiess-Loken & Associates LLC. Director of Public Works Rubenzer noted that the subdivision is in the 3 mile extra-territorial plat review area. Commissioner Hiess stated this subdivision is being developed by Dennis Lyberg and Southwinds LLC.
Motion by Misfeldt, seconded by Cihasky to recommend the Common Council approve Preliminary and Final Plats of Autumn Winds Subdivision located in the Town of Lafayette, submitted by Hiess-Loken & Associates LLC contingent on receipt and approval of any necessary stormwater management plan and receipt of plat review fees. **All present voting aye except Hiess who recused himself and abstained from the vote. Motion carried.**
8. The Plan Commission considered the attached Map of Survey of the River Street – High Street area. After discussion;
Motion by Hubbard, seconded by Cihasky to recommend the Common Council approve the attached Map of Survey of the River Street – High Street area presented on behalf of the Chippewa Valley Cultural Association (CVCA) Heyde Center for the Arts and make any necessary revisions to the Chippewa Falls Plat. **All present voting aye except Hiess who recused himself and abstained from the vote. Motion carried.**
9. **Motion** by Varga, seconded by Smith to adjourn. **All present voting aye. Motion carried.** The Plan Commission adjourned at 9:50 P.M.


Richard J. Rubenzer, P.E., Secretary
Plan Commission

PLAN COMMISSION ATTENDANCE SHEET

DATE: March 7, 2022 (2)

NAME	COMPANY REPRESENTING	ADDRESS	PHONE #	EMAIL
Scott Steinmahr	—	929 Bluff View Ct	715-456-5528	—
Jason Weindorfer	—	312 Hilary St	715-563-1800	—
Annika Kaiser	Boys Girls Club	643 EZ Drive NW	715-577-8295	akaiser@cucubs.org
Julius Ess	—	621 Northridge Dr.	715-829-8800	billow.8383@stapleol.net
Juel Bolan	621 Northridge Dr.	1276 Lake Place	715-726-1888	—
Walt & Jean Metchum	—	8115 160th St. C.F.	715-861-3368	—
Heidi Ottevaere	—	13167 City Hwy 00	715-450-5775	n:dlr@heartlandwi.com
Nick Rooney	Heartland	3420 Munro Drive, EC	715-532-1818	Tueeta@EmulationsSecurity.com
Trevon Batterson	Boys & Girls Clubs	—	715-894-7436	mhogan@cucubs.org
Moule Hogan	Boys & Girls Clubs	—	—	—

PLAN COMMISSION ATTENDANCE SHEET

DATE: March 7, 2022

NAME	COMPANY REPRESENTING	ADDRESS	PHONE #	EMAIL
JEFF JONES	UHAUL	10923 GREYWALL	224-4020042	JEFF-JONES@UHAUL.COM
IMY SCHWOCH	UHAUL	10923 Greywall	815-482-6639	Imy-Schwoch@Uhaul.com
LORRAINE HALL		1384 Jake Place	715-579-6356	lor6356@gmail.com
Margaret Kutz		11 11	579-6448	Kitzem@gmail
Jordan Crossing	Advanced Engineering	1352 HISHWA	404-6001	
SEAN BOLHAR	AEC	1360 FURNACE DR	715-552-0338	
Jacque Price		1122 Macomber St	715-252-0544	
Mark Price		1122 Macomber St	715-252-0544	
GREG MIZENK		625 NORTHAIDOE DRIVE	715 215 0512	gmizenk@gmail.com
GAIL MIZENK		629 NORTHAIDOE DRIVE	715 559 8646	
Carol Holtz		679 Cedarwood Ct.	715-577-2719	

**CITY OF CHIPPEWA FALLS PLAN COMMISSION CONDITIONAL
USE PERMIT RESOLUTION 2022-04 TO ALLOW THE BOYS AND
GIRLS CLUB OF THE GREATER CHIPPEWA VALLEY-CHIPPEWA
FALLS CENTER TO OPERATE A BOYS AND GIRLS CLUB,
INCLUDING EXPANDED USE AND RENOVATION ON PARCEL
#22909 3644 07000000, IN THE SE ¼ OF THE SE ¼, SECTION 36, T29N,
R9W LOCATED AT #650 BRIDGEWATER AVENUE**

WHEREAS, on August 9, 1982, the City of Chippewa Falls Plan Commission approved Conditional Use Permit Resolution No. 1982-02 allowing the operation of a private lodge in a building located at #650 Bridgewater Avenue in a single family residential district; and

WHEREAS, on February 10, 2020, the City of Chippewa Falls Plan Commission approved Conditional Use Permit Resolution No. 2020-01 allowing River City Community Church to operate a Christian church on Parcel #22909 3644 07000000 located at #650 Bridgewater Avenue; and

WHEREAS, at its February 7, 2022 meeting, the City of Chippewa Falls Plan Commission heard a request from Board Member Trevor Bohland of the Boys and Girls Club of the Greater Chippewa Valley-Chippewa Center to use the existing building and expanded use, renovation and proposed 6600sf addition on Parcel #22909 3644 07000000 located at #650 Bridgewater Avenue to operate a Boys and Girls Club. Mr. Bohland stated that existing facility locations had been outgrown and that an improved kitchen and facilities was necessary; and

WHEREAS, Parcel #22909 3644 07000000 on which #650 Bridgewater Avenue is located is presently zoned as R-1A Single Family Residential Zoning District; and

WHEREAS, the use of a parcel as a Boys and Girls Club is a conditional use in a R-1A Single Family Residential Zoning District as set forth in City of Chippewa Falls Municipal Code Chapter 17.20(8)(c); and

WHEREAS, the City of Chippewa Falls Plan Commission has reviewed and evaluated the request of the Boys and Girls Club of the Greater Chippewa Valley-Chippewa Center for a Conditional Use Permit to operate a Boys and Girls Club on Parcel #22909 3644 07000000; and

WHEREAS, the City of Chippewa Falls Plan Commission conducted a public hearing on Monday, April 11, 2022 at 6:30 P.M. to hear all concerns about requested Conditional Use Permit Resolution No. 2022-04 after proper notification of all adjacent property owners within 150 feet of the parcel and the publishing of a Class II notice for the said public hearing.

WHEREAS, the Plan Commission finds the following facts:

- a) Using parcel # 22909 3644 07000000 as a Boys and Girls Club would not be detrimental to the health, welfare, and character of the existing neighborhood.
- b) Such other findings of fact related to the proposed amendment, which are made after hearing on the record.

NOW, THEREFORE, BE IT RESOLVED BY THE PLAN COMMISSION OF THE CITY OF CHIPPEWA FALLS, WISCONSIN that pursuant to Chapter 17.20(8)(c) of the Code of Ordinances of the City of Chippewa Falls, Wisconsin, that a Conditional Use Permit is hereby issued for the Boys and Girls Club of the Greater Chippewa Valley to operate a Boys and Girls Club on parcel #22909 3644 07000000 located at #650 Bridgewater Avenue under the following conditions:

- a. That the Boys and Girls Club of the Greater Chippewa Valley-Chippewa Center be permitted to be operate in the existing building and expanded use, renovation and 6600sf addition on Parcel #22909 3644 07000000 located at #650 Bridgewater Avenue.
- b. That the 26 existing parking spaces be provided in accordance with Chapter 17.41 Parking Space Requirements, of the Zoning Code and bus parking be permitted in the back of the building.
- c. That the hours of operation be 7:30am-6:00pm (summer) and 3:00pm – 7:00pm during the school year, Monday through Friday. In addition, on a limited basis for special programming or family events such as Thanksgiving Feast hours may exceed the previously stated hours.
- d. That twenty-three part-time and four full time employees be permitted.
- e. That the Boys and Girls Club operation be allowed in the existing 9,000 square foot building and 6,600 square foot addition.
- f. That the building be electronically secured with a badged entrance.
- g. That a maximum of 200 residents ages 8-18 be permitted.
- h. That the existing vegetative screen be maintained.
- i. That existing and proposed lights be upgraded to dark sky compliant and located as shown on the attached site plan.
- j. That one dark sky compliant lighted monument sign, not to exceed 8' high x 8' wide, be allowed and placed according to the attached site layout.

- k. That the approved site plan, which is attached hereto, and made an integral part of the Conditional Use Permit be maintained in both the City of Chippewa Falls Engineering Department Office and the City of Chippewa Falls Building and Inspection Office.
- l. Except as specifically provided herein, all regulations of the City Zoning Code shall apply.
- m. That this permit shall become null and void by non-compliance with this permit or related Codes or by application to the Board of Appeals for any Code variance at these premises.
- n. Chapter 17.47 (13) shall apply and this permit shall terminate if the use for which this permit is issued shall cease for a continuous two year period.
- o. Modifications or changes to this permit may be made only by the Plan Commission after an application for an amendment has been duly filed and notices and hearing requirements have been complied with.

MOTION: Rubenzer

SECONDED: Hubbard

I hereby certify that the Plan Commission of the City of Chippewa Falls, Wisconsin, adopted the above Resolution on April 11, 2022 by a vote of 7 ayes, 0 nays, and 0 abstentions.

ATTEST: Richard J. Rubenzer
Richard J. Rubenzer, PE, Secretary
Plan Commission

**NOTICE OF PUBLIC HEARING
CONDITIONAL USE PERMIT**

Notice is hereby given that the Plan Commission of the City of Chippewa Falls will conduct a public hearing in the Council Chambers, Municipal Building, 30 West Central Street, Chippewa Falls, Wisconsin, commencing at **6:30 P.M. on Monday, April 11, 2022** regarding:

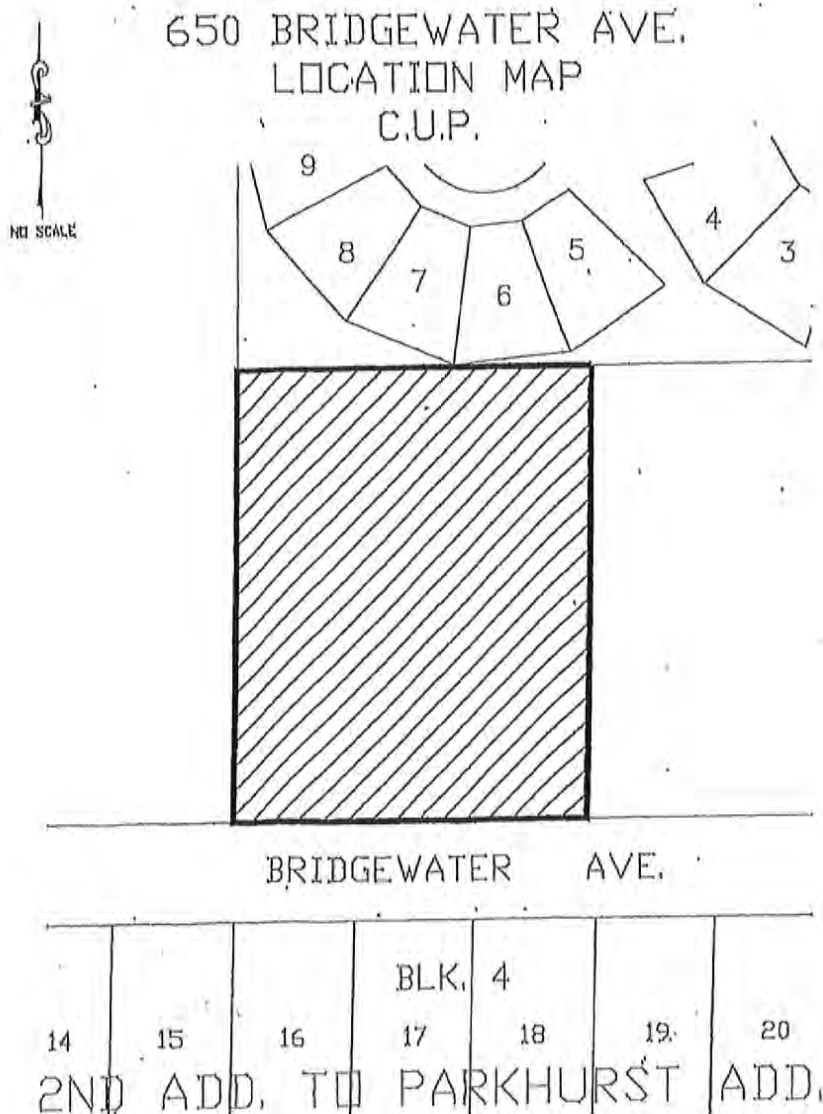
A Conditional Use Permit Resolution to allow the Girls and Boys Club of the Greater Chippewa Valley – Chippewa Falls Center to operate a boys and girls club, including expanded use and renovation, on Parcel #22909-3644-07000000, in the Southeast ¼ of the Southeast ¼, Section 36, T29N, R9W, located at 650 Bridgewater Avenue in the City of Chippewa Falls.

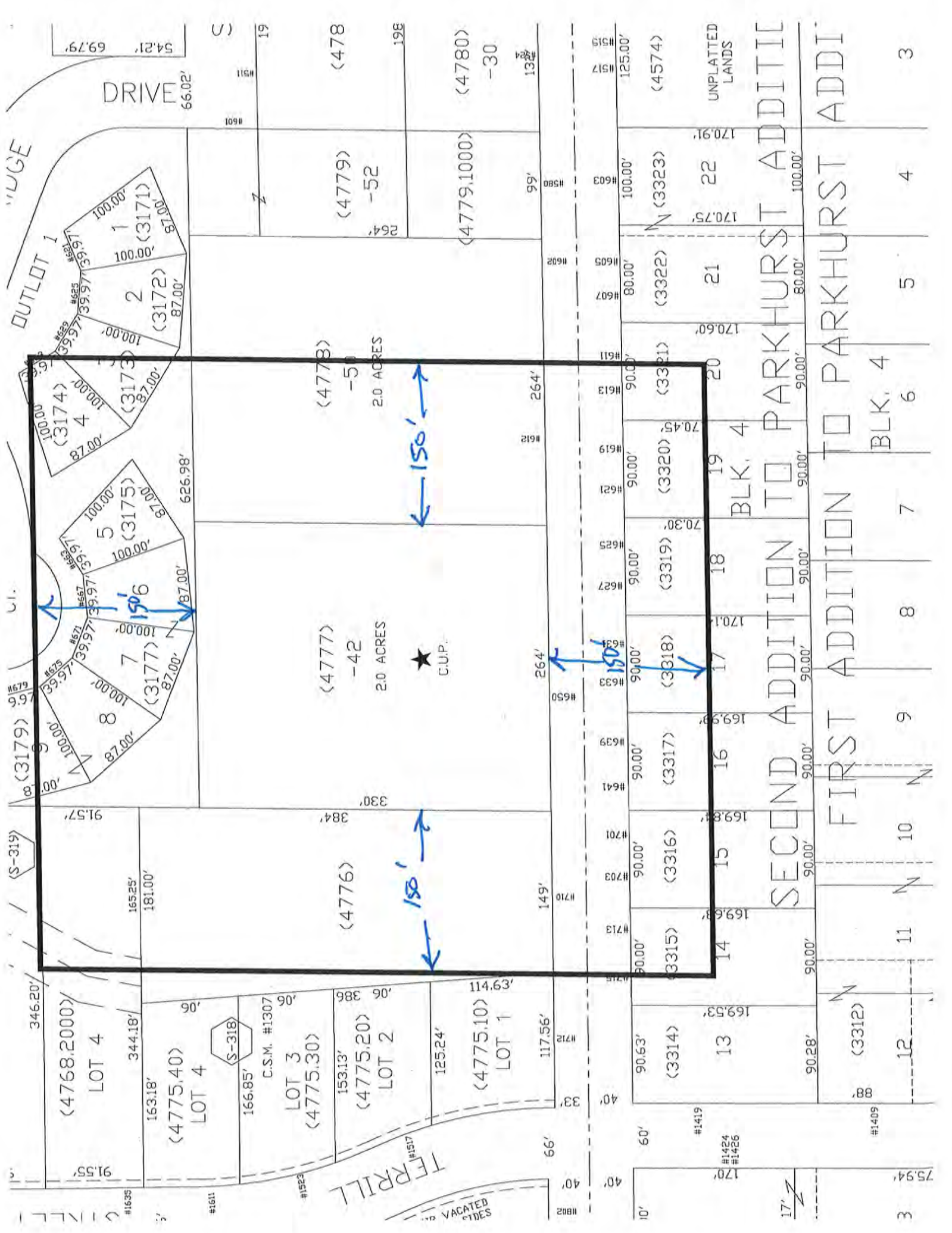
This parcel is currently zoned R-1A Single Family Residential District.

Following the hearing, the Plan Commission will consider adoption of a resolution granting the permit.

A copy of the proposed resolution with the conditions of the proposed permit, including expanding use of the building and the premises, may be inspected at the office of the City Engineer in the Municipal Building at 30 West Central Street during regular office hours. (8:30 A.M. to 3:30 P.M.)

Richard J. Rubenzer, P.E., Secretary
Plan Commission





← 150' →

← 150' →

← 150' →

★
C.U.P.

SECOND ADDITION TO PARKHURST ADDITION
FIRST ADDITION TO PARKHURST ADDITION

BLK. 4

UNPLATTED LANDS

JUDGE DRIVE

FERRILL

VACATED SIDES

(S-319)

U.I.

(S)

Z

Z

N

N

N

N

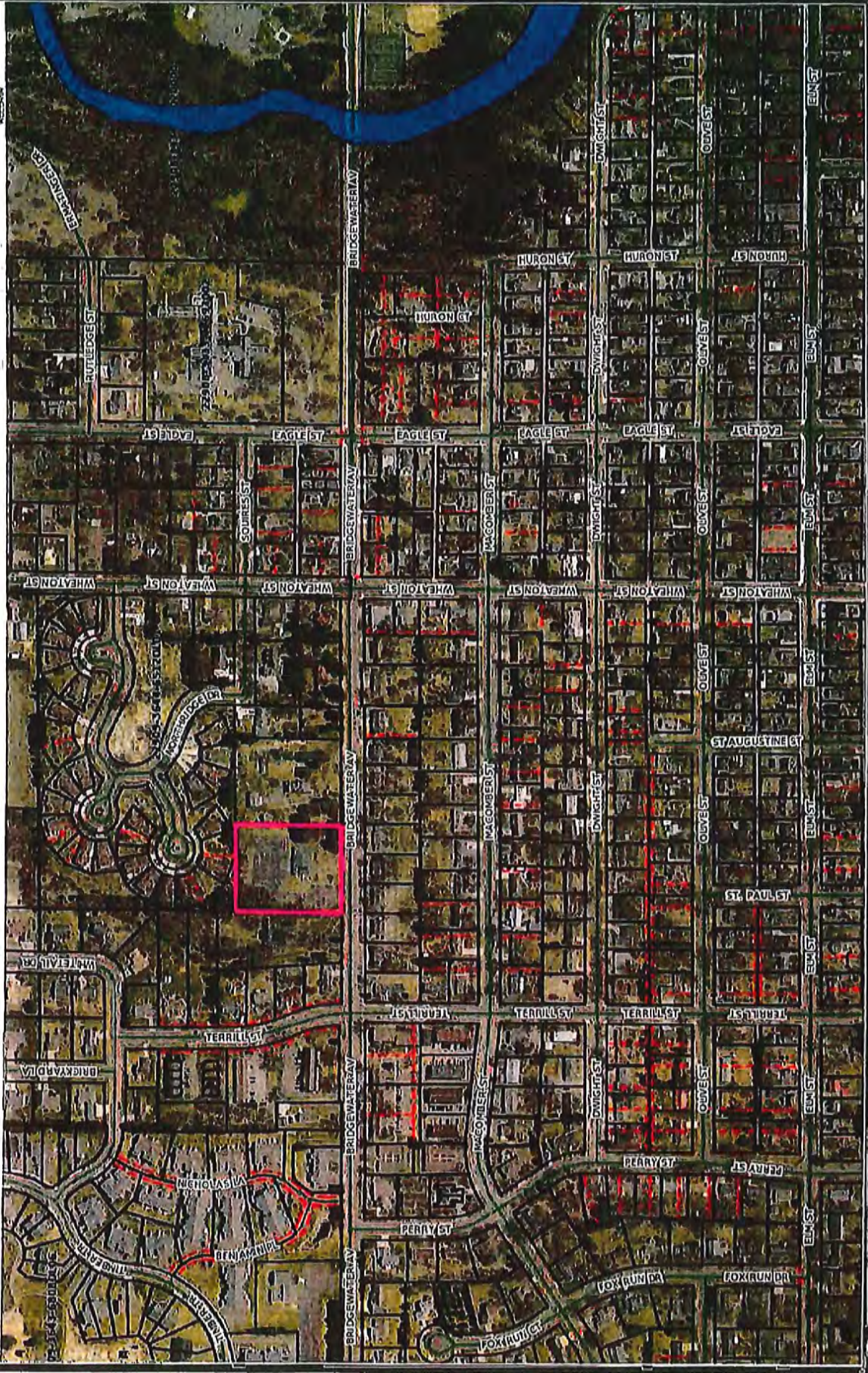
Z

Parcel ID	Dimensions	Notes
(4768.2000) LOT 4	346.20' x 91.55'	
(4775.40) LOT 4	163.18' x 344.18'	
(4775.30) LOT 3	166.85' x 306'	C.S.M. #1307
(4775.20) LOT 2	153.13' x 386'	
(4775.10) LOT 1	125.24' x 114.63'	
(4776) -42	2.0 ACRES	★ C.U.P.
(4777) -42	2.0 ACRES	
(4778) -50	2.0 ACRES	
(4779) -52	264'	
(4780) -30	132'	
(3314)	90.63' x 169.53'	
(3315)	90.00' x 169.68'	
(3316)	90.00' x 169.84'	
(3317)	90.00' x 169.99'	
(3318)	90.00' x 170.12'	
(3319)	90.00' x 170.30'	
(3320)	90.00' x 170.45'	
(3321)	90.00' x 170.60'	
(3322)	80.00' x 170.75'	
(3323)	100.00' x 170.91'	
(4574)	125.00' x 170.91'	
(3171)	87.00' x 100.00'	
(3172)	87.00' x 100.00'	
(3173)	87.00' x 100.00'	
(3174)	87.00' x 100.00'	
(3175)	87.00' x 100.00'	
(3176)	87.00' x 100.00'	
(3177)	87.00' x 100.00'	
(3178)	87.00' x 100.00'	
(3179)	87.00' x 100.00'	
(3180)	87.00' x 100.00'	

Map

Printed 01/10/2022

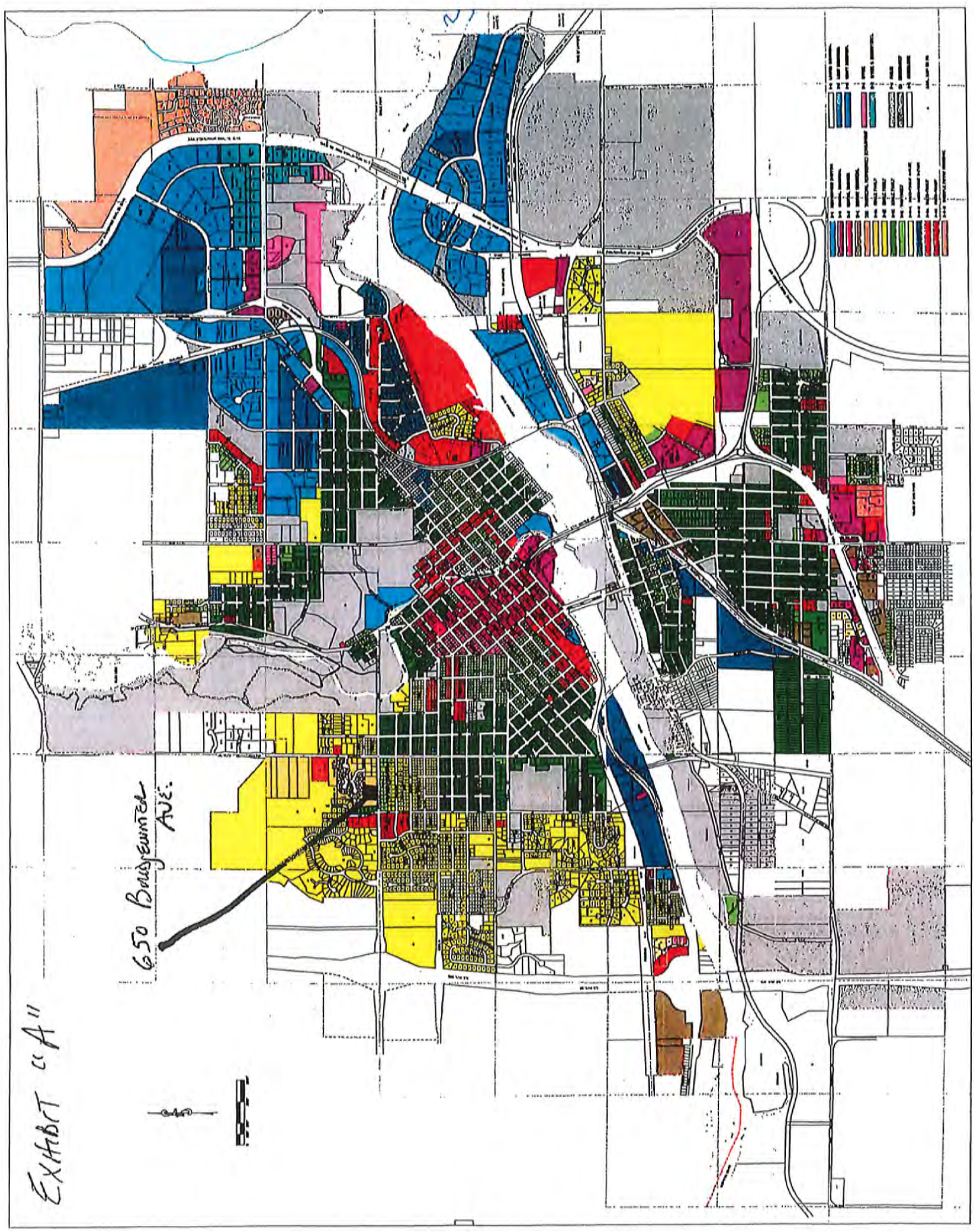
Scale = 1:391'



Disclaimer: This map is a compilation of records as they appear in the Chippewa County Offices affecting the area shown and is to be used only for reference purposes.

EXHIBIT "A"

650 Bayview Ave.





Know whats below.
Call before you dig.



**BOYS & GIRLS CLUB
OF THE GREATER CHIPPEWA VALLEY
650 BRIDGEWATER AVE**

R-1A
CURRENT ZONING: R-1A
LOT SIZE: 87,130 SF (2.00 AC)

EXISTING IMPERVIOUS AREA: 28,729-SF (1.00)

PROPOSED USE: CLUB

EXISTING PARKING: 6,811-SF (7.8X)

EXISTING BUILDING: 4,847-SF (1.7X)

EXISTING DRIVEWAY: 7,945-SF (1.1X)

PROPOSED PARKING: 11,130-SF (12.8X)

PROPOSED BUILDING: 28,729-SF (10.8X)

PROPOSED DRIVEWAY: 28,729-SF (10.8X)

PROPOSED GREEN SPACE: 28,729-SF (10.8X)

PARKING STALLS: 27 TOTAL (2 ACCESSIBLE)

SEIZURES: 10

PERMITS: 24

SOILS: 1P

TOPG: 2P

NOTE:
EXISTING & PROPOSED LIGHT POLES WILL UTILIZE
DOWNCAST LIGHTING. IN ADDITION, THE BUILDING WILL
HAVE DOWNCAST LIGHTING WALL FIXTURES NEAR EACH
ENTRANCE.

OWNER:
CONYER, TRACINDA S ANDERSON
675 BRIDGEWATER AVENUE

NOTE:
CONTRACTOR TO FIELD VERIFY
EXISTING UTILITY LOCATIONS

HATCHING LEGEND

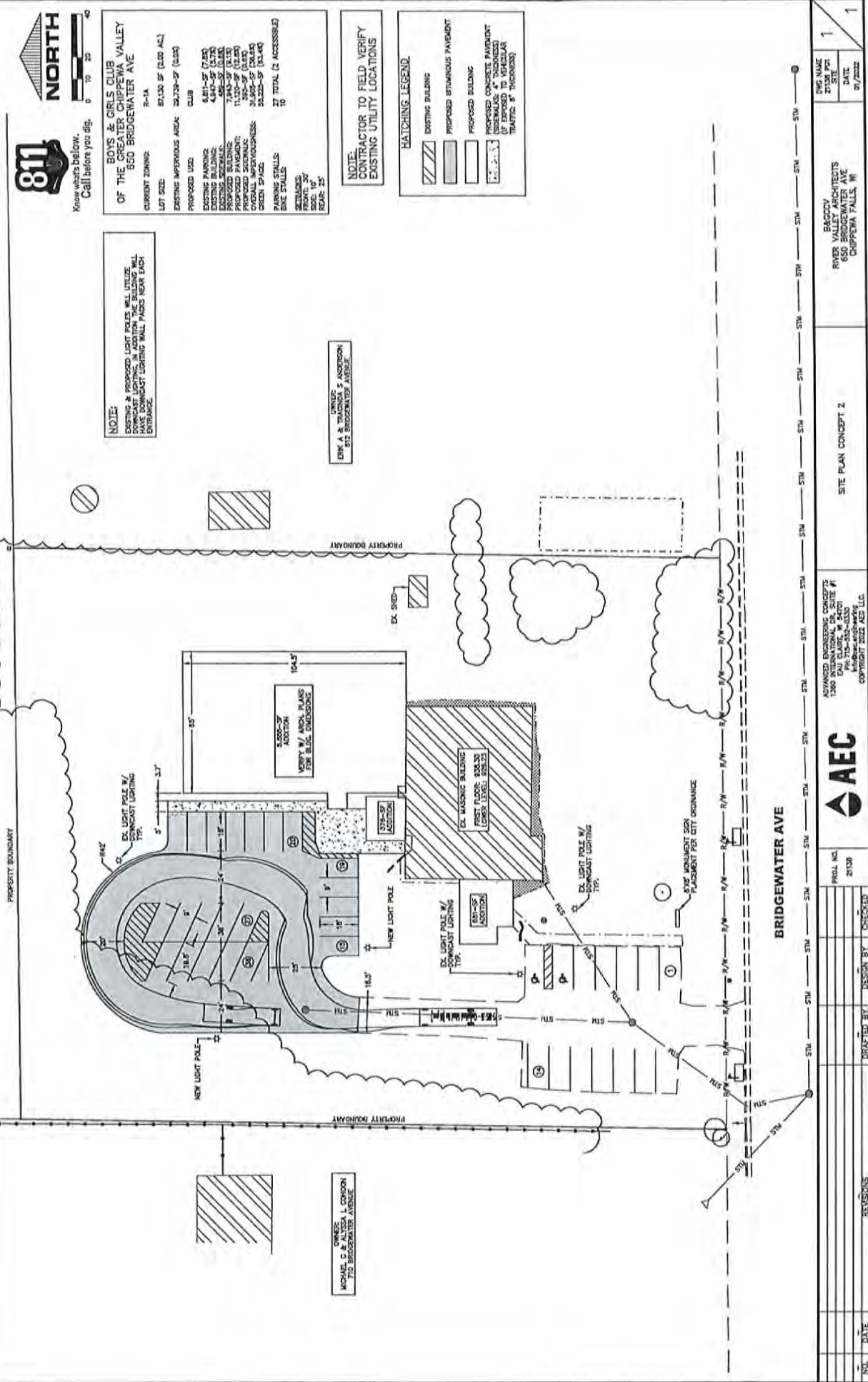
EXISTING BUILDING

PROPOSED BITUMINOUS PAVEMENT

PROPOSED BUILDING

PROPOSED CONCRETE PAVEMENT

PROPOSED CONCRETE PAVEMENT
(UP EXPOSED TO VEHICULAR
TRAFFIC, 4" THICKNESS)



INC.	DATE	REVISIONS	DEVELOPED BY	DESIGNED BY	CHECKED	PROJ. NO.	21138
<p>ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR. SUITE #1 PALM BEACH, FL 33411 PHONE: 561-832-1100 WWW.AEC-ARCHITECT.COM COPYRIGHT 2022 AEC LLC</p>							<p>AEC</p>
SITE PLAN CONCEPT 2					<p>BLASCOY RIVER VALLEY ARCHITECTS 650 BRIDGEWATER AVE CHIPPEWA FALLS, WI</p>		
<p>ENGINE NAME 2024 PPI SITE</p>					<p>DATE 07/2022</p>		

Example for 04/11/2022 Plan Commission



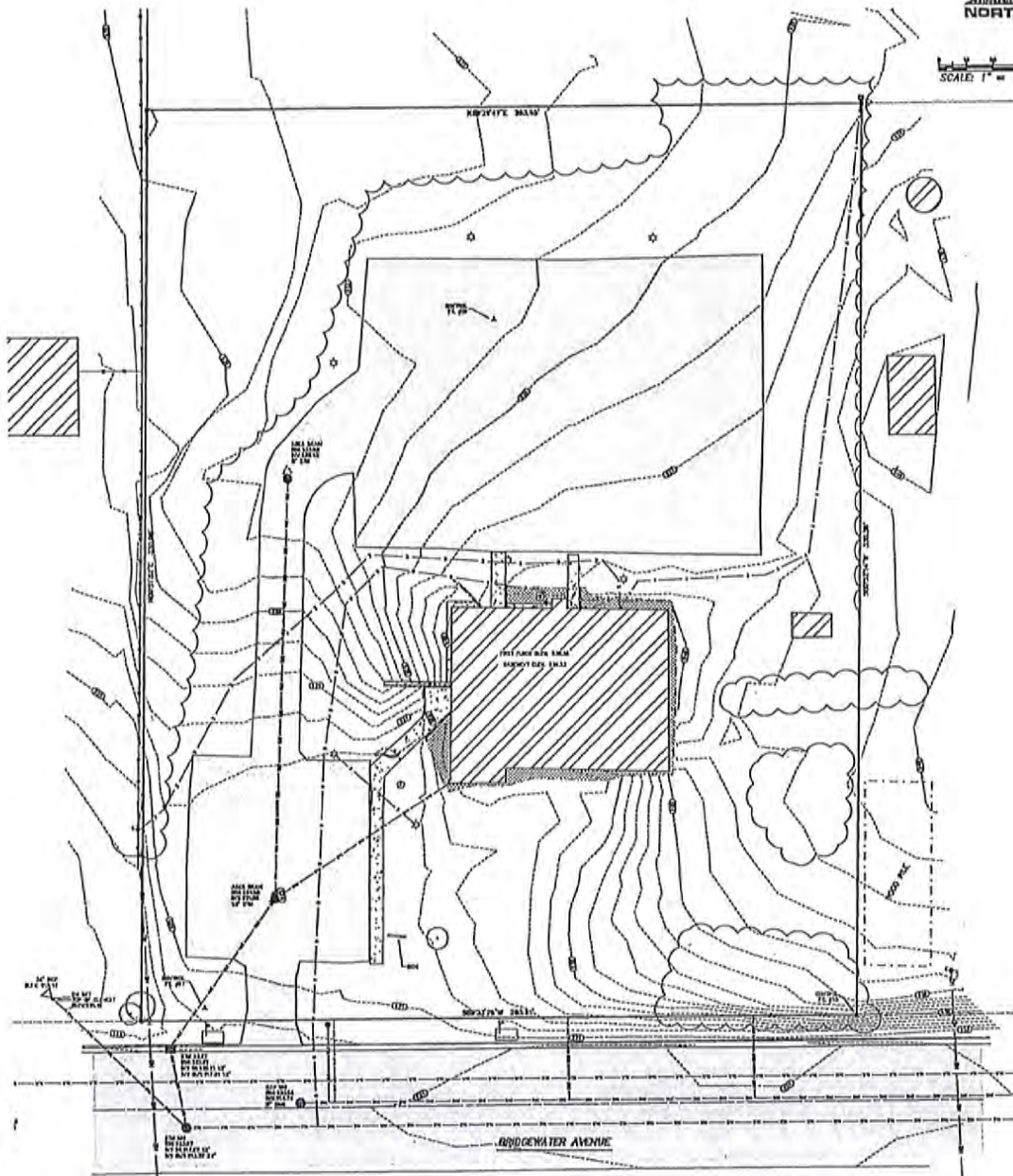


REAL LAND SURVEYING
1340 INTERNATIONAL DRIVE
STATE 2
EAU CLAIRE, WI 54201
(715) 814-1110

NO PLAN
EXCEEDED
MILWAUKEE



SCALE: 1" = 20'



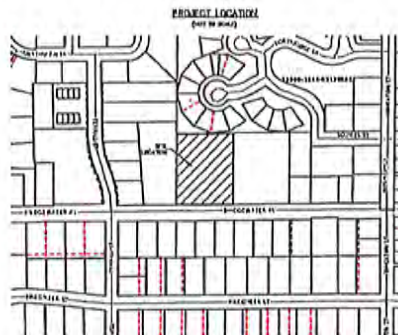
LEGEND

- FOUND 1" OUTSIDE QUARTER POST PIPE
- EXISTING MARKING
- ▬ EXISTING CONCRETE SURFACE
- ▬ EXISTING ASPHALT SURFACE
- ▬ EXISTING LANDSCAPE
- ▬ EXISTING STORMWATER SERVICES
- ▬ EXISTING WATER SERVICES
- ▬ EXISTING SANITARY SERVICES
- ▬ EXISTING OVERHEAD LINES
- ▬ EXISTING UNDERGROUND ELECTRIC
- ▬ EXISTING UNDERGROUND GAS
- ▬ EXISTING UNDERGROUND TELEPHONE
- ◁ EXISTING CITY MARK
- ▬ EXISTING TELEPHONE FEDERAL
- ⊕ EXISTING POWER POLE
- ⊕ EXISTING AIR CONDITIONING UNIT
- ⊕ EXISTING SANITARY MANHOLE
- ⊕ EXISTING STORM MANHOLE
- ⊕ EXISTING CURB BUMP
- ⊕ EXISTING CURB STOP
- ⊕ EXISTING SANITARY CLEANOUT
- ▬ EXISTING TRAVEL SIGN
- ▬ EXISTING GATE MARK
- ▬ EXISTING FENCE
- ⊕ EXISTING LIGHT POLE
- ☁ EXISTING TREE LINE

CONTROL - 2148A				
POINT #	TYPE	NORTHING	EASTING	ELEVATION
23	1" I.P.C.	133384.00	110133.00	
27	1" I.P.C.	133384.00	110133.00	
30	1" I.P.C.	110133.00	133384.00	
BENCHMARK				
	TOP OF CORNER			524.17

TOPOGRAPHIC SURVEY
LOCATED IN SECTION 36,
TOWNSHIP 29 NORTH, RANGE 9 WEST,
CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN

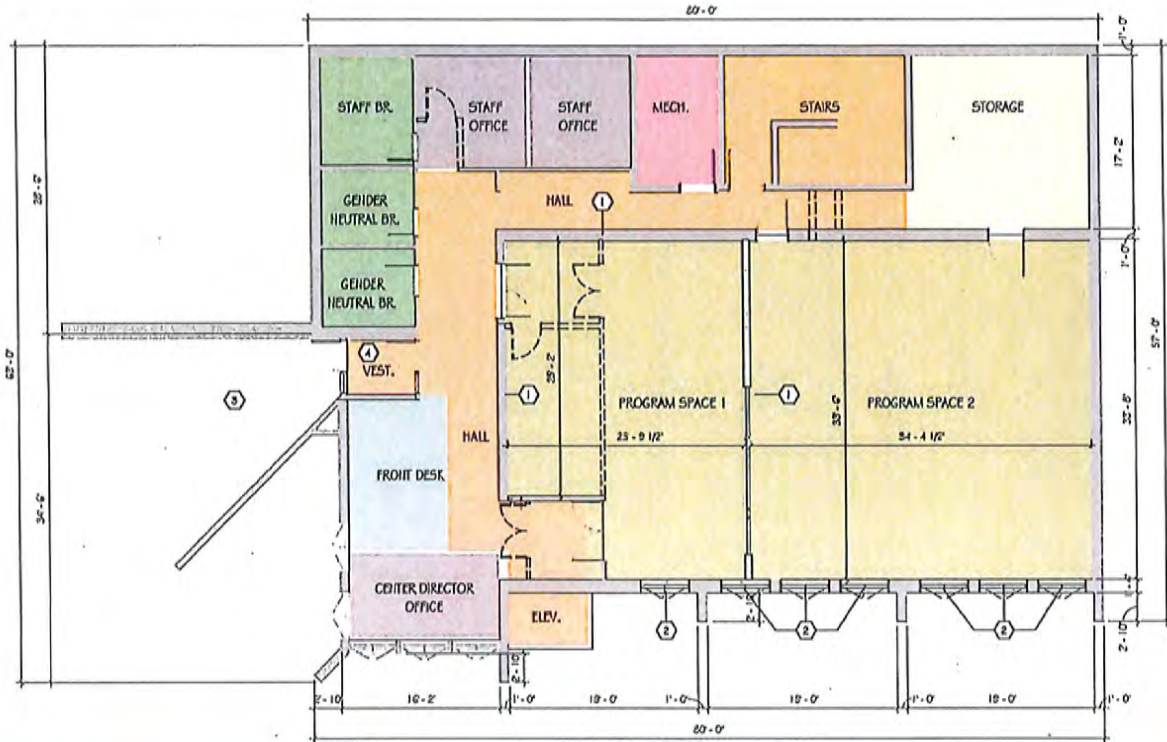
FIELD WORK WAS COMPLETED ON 12/21/21
DODD'S MARK (#21111000)





BOYS & GIRLS CLUBS
OF THE GREATER CHIPPEWA VALLEY

MAIN LEVEL ENTRANCE

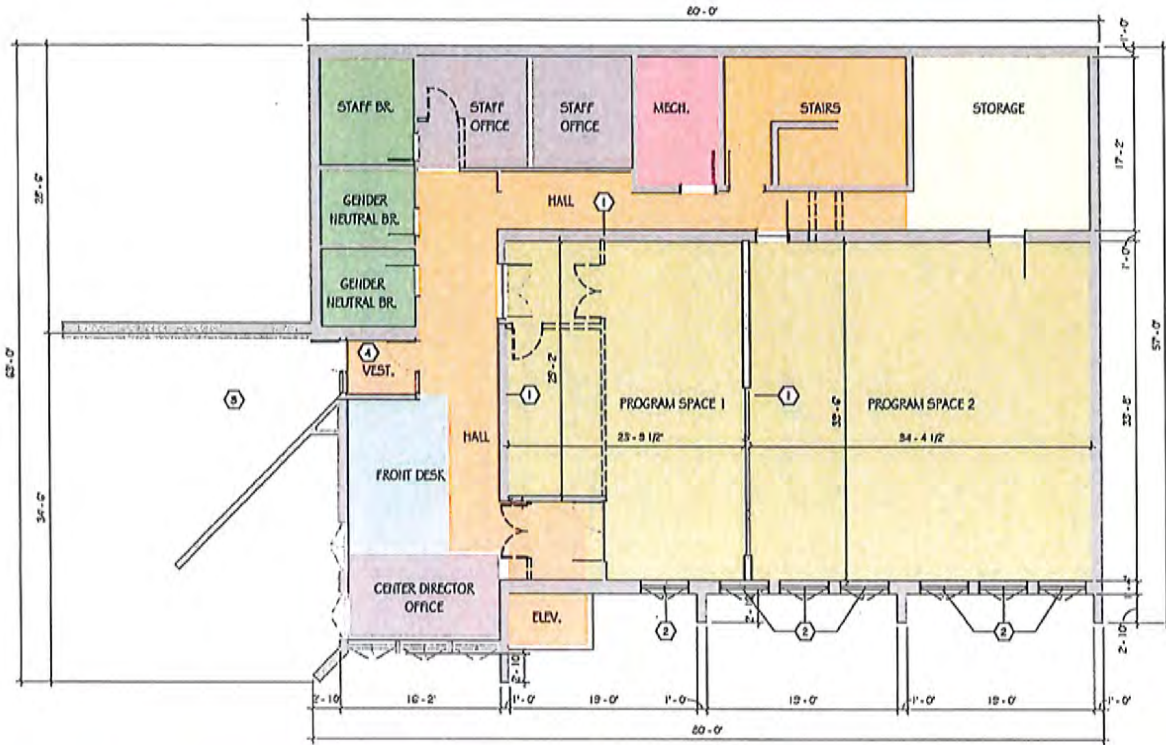


SIMILAR SPACES



BOYS & GIRLS CLUBS
OF THE GREATER CHIPPEWA VALLEY

MAIN LEVEL PROGRAM SPACES

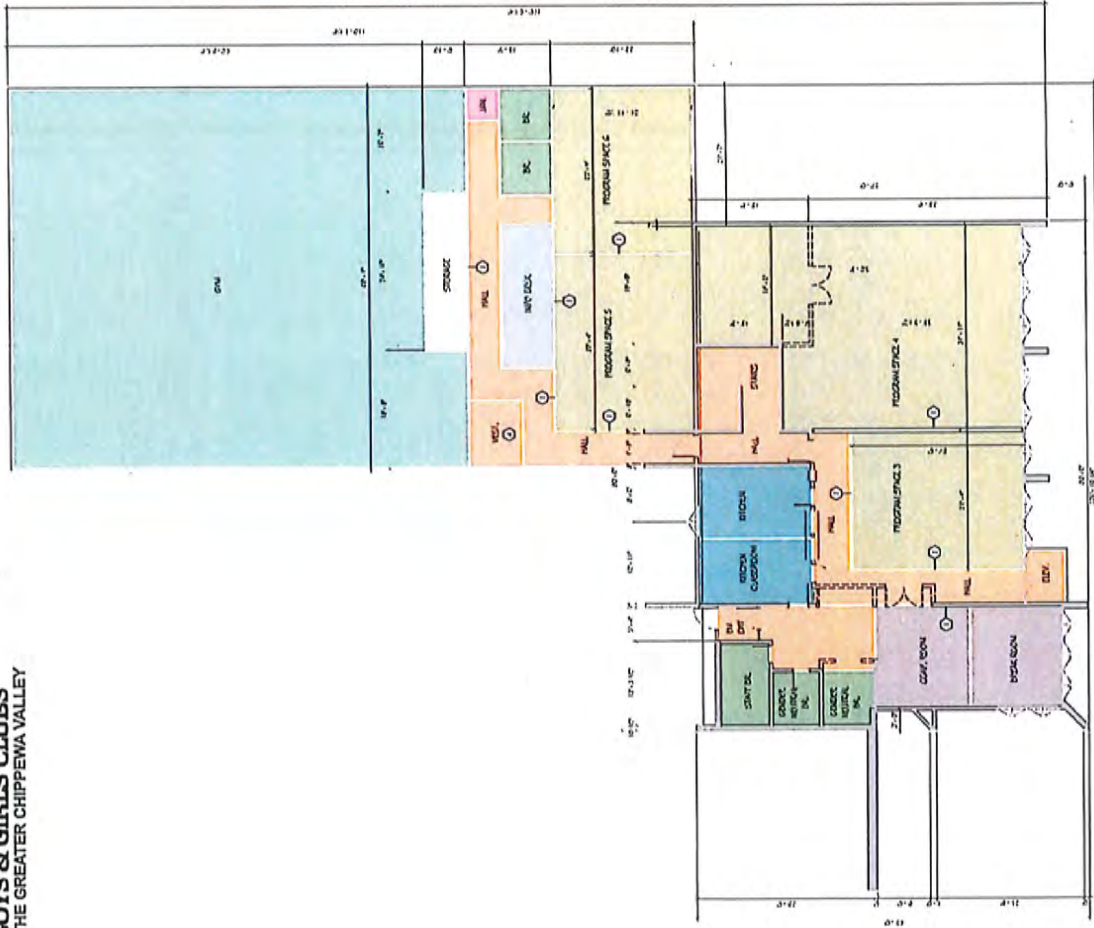


SIMILAR SPACES



BOYS & GIRLS CLUBS
OF THE GREATER CHIPPEWA VALLEY

UPPER LEVEL TEEN CENTER



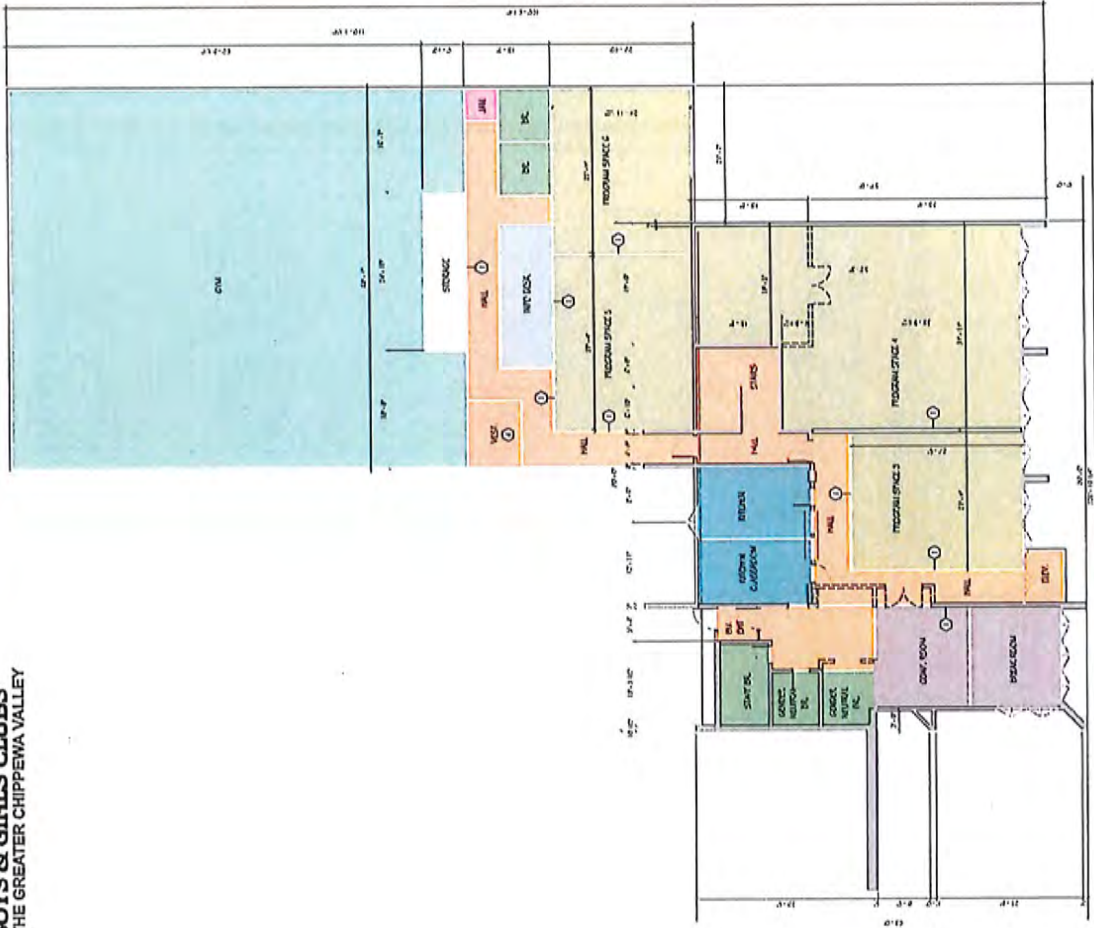
SIMILAR SPACES





BOYS & GIRLS CLUBS
OF THE GREATER CHIPPEWA VALLEY

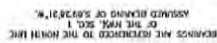
UPPER LEVEL GYMNASIUM



SIMILAR SPACES

- LEGEND
- PIG 1/2" I.D. RIB PIPE
 - 4" I.D. RIB PIPE
 - 18" I.D. RIB PIPE
 - 24" I.D. RIB PIPE
 - 30" I.D. RIB PIPE
 - 36" I.D. RIB PIPE
 - 42" I.D. RIB PIPE
 - 48" I.D. RIB PIPE
 - 54" I.D. RIB PIPE
 - 60" I.D. RIB PIPE
 - 66" I.D. RIB PIPE
 - 72" I.D. RIB PIPE
 - 78" I.D. RIB PIPE
 - 84" I.D. RIB PIPE
 - 90" I.D. RIB PIPE
 - 96" I.D. RIB PIPE
 - 102" I.D. RIB PIPE
 - 108" I.D. RIB PIPE
 - 114" I.D. RIB PIPE
 - 120" I.D. RIB PIPE

REVISIONS ARE REFERENCED TO THE HORIZONTAL LINE ASSIGNED BEANS OR 5/29/2017



SCALE: 1" = 100'

REVISIONS COMPLETED: JANUARY 23, 2022

PARCEL TABLE	PARCEL TABLE		
LOT NO.	AREA (SQ.FT.)	LOT NO.	AREA (SQ.FT.)
42	11,022	56	5,074
43	8,714	57	6,208
44	8,714	58	5,098
45	8,520	59	8,287
46	8,527	60	8,462
47	16,035	61	14,128
48	13,028	62	14,918
49	8,520	63	9,372
50	8,135	64	8,532
51	5,237	65	6,428
52	5,238	66	6,428
53	6,058	67	6,208
54	6,073	68	6,208
55	6,212	69	6,428
56	6,214	70	6,428
57	6,214	71	6,428
58	6,214	72	6,428
59	6,214	73	6,428
60	6,214	74	6,428
61	6,214	75	6,428
62	6,214	76	6,428
63	6,214	77	6,428
64	6,214	78	6,428
65	6,214	79	6,428
66	6,214	80	6,428
67	6,214	81	6,428
68	6,214	82	6,428
69	6,214	83	6,428
70	6,214	84	6,428
71	6,214	85	6,428
72	6,214	86	6,428
73	6,214	87	6,428
74	6,214	88	6,428
75	6,214	89	6,428
76	6,214	90	6,428
77	6,214	91	6,428
78	6,214	92	6,428
79	6,214	93	6,428
80	6,214	94	6,428
81	6,214	95	6,428
82	6,214	96	6,428
83	6,214	97	6,428
84	6,214	98	6,428
85	6,214	99	6,428
86	6,214	100	6,428

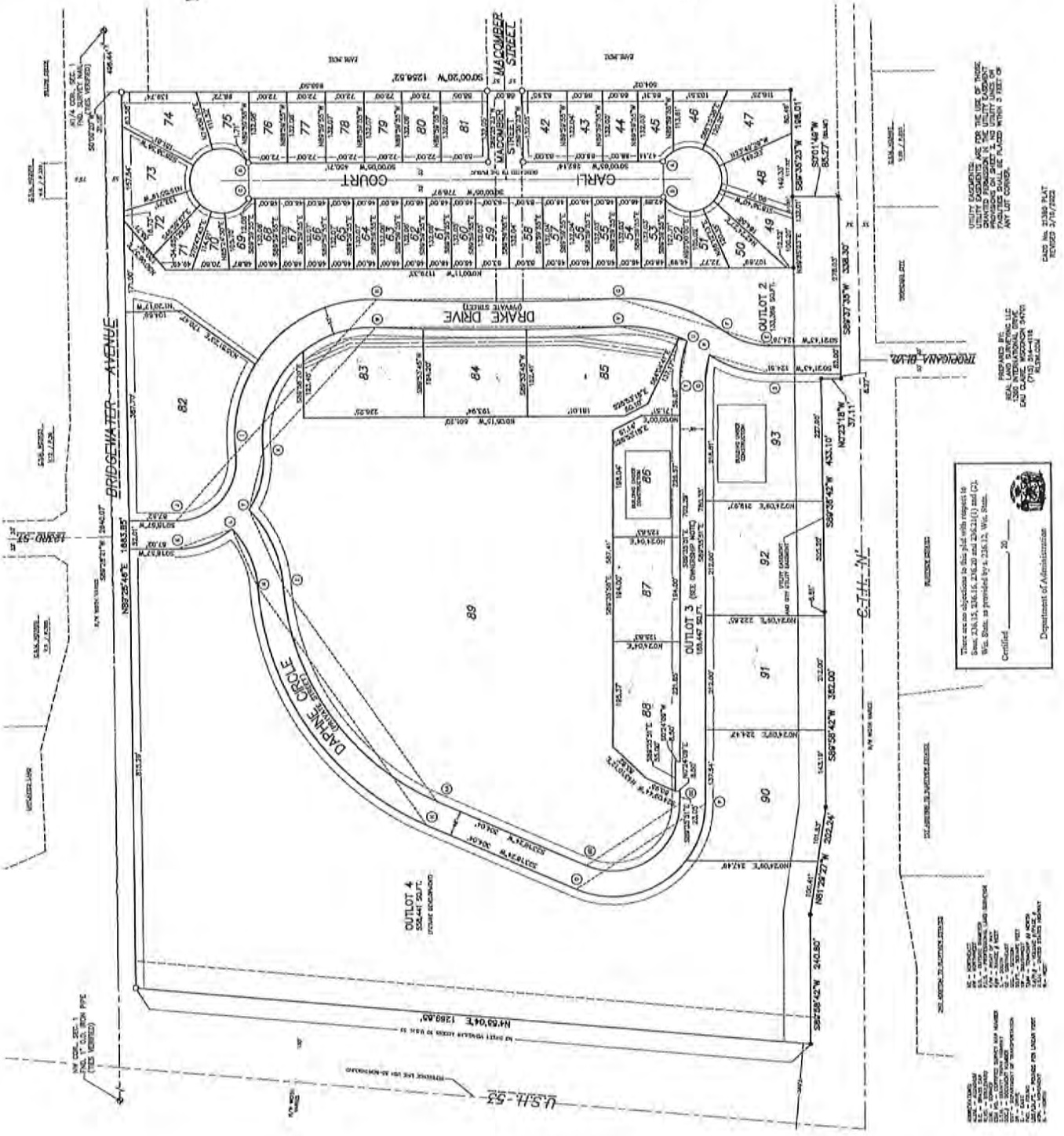
OUTLET 3 CONTAINS 3 CHIMNEYS. CHIMNEYS ARE BY THE NUMBER OF LOTS 82-84 AND OUTLETS 1 AND 2. AN OWNER WILL HAVE THE RIGHT TO USE OUTLET 3 FOR ACCESS TO AND FROM THE ADJOINING PUBLIC STREET.



PARK WEST II

IN THE NWK OF THE NWK AND NWK OF THE NWK, SECTION 1, T28N, R9W, COUNTY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN INCLUDING ALL OF LOTS 1 AND 2 OF CSR NO. 2445, & 2512, 259-258

SHEET 1 OF 3



UTILITIES (CHIMNEYS) ARE FOR THE USE OF THOSE OWNERS OF THE LOTS. THE UTILITIES SHOWN ON THIS PLAN ARE THE PROPERTY OF THE CITY OF CHIPPEWA FALLS AND SHALL BE PLACED WITHIN 2 FEET OF ANY LOT CORNER.

PREPARED BY: J. L. BROWN, INC. (715) 735-1111
 200 S. LAKE ST., SUITE 100
 CHIPPEWA FALLS, WI 54829

There are no objections to this plan with respect to Section 23A.12, 23A.13, 23A.14, 23A.15, 23A.16, 23A.17, 23A.18, 23A.19, 23A.20 and 23A.21(1) and (2) Wis. Stats. as provided by s. 23A.12, Wis. Stats.

Certified _____, _____
 Department of Administration

NO. OF COPIES: 10
 ALL INFORMATION IS TO BE MAINTAINED IN CONFIDENCE
 THIS PLAN IS NOT VALID UNLESS IT IS REGISTERED WITH THE COUNTY CLERK OF CHIPPEWA COUNTY, WISCONSIN
 THIS PLAN IS NOT VALID UNLESS IT IS REGISTERED WITH THE COUNTY CLERK OF CHIPPEWA COUNTY, WISCONSIN
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CURVE	LOT NUMBER	LENGTH	RADIUS	DELTA	CHORD DISTANCE	CHORD BEARING	1ST TANGENT BEARING	2ND TANGENT DISTANCE
A-B	45	307.11'	60.00'	283.1558'	56.00'	N89°29'54"E	S06°27'52"W	N55°25'02"W
	46	26.86'	60.00'	035°35'22"	28.88'	N43°30'24"W		
	47	47.37'	60.00'	05°14'07"	55.81'	N03°20'11"W		
	48	44.44'	60.00'	046°25'05"	43.43'	N44°37'26"E		
	49	24.92'	60.00'	023°47'47"	24.74'	S35°41'40"E		
	50	33.85'	60.00'	051°33'01"	32.18'	S25°45'31"W		
	51	24.92'	60.00'	023°47'47"	24.74'	S11°33'33"E		
	52	53.30'	60.00'	005°54'51"	53.32'	S84°05'27"W		
	53	53.30'	60.00'	293°16'09"	66.00'	N89°54'03"W		
	54	54.39'	60.00'	051°55'35"	52.95'	S07°33'48"E		
	55	24.92'	60.00'	023°47'47"	24.74'	S07°16'20"W		
	56	24.92'	60.00'	023°47'47"	24.74'	S11°06'10"W		
	57	31.50'	60.00'	030°04'38"	31.14'	S58°02'22"W		
	58	47.89'	60.00'	045°32'15"	46.44'	N84°09'12"W		
	59	47.89'	60.00'	045°32'15"	46.44'	N38°25'57"W		
	60	60.00'	60.00'	072°24'41"	71.02'	N02°26'21"E		
E-F	01	268.3	161.35'	153.20'	037°53'02"	391.81'	S05°33'27"W	S01°49'33"E
F-G	02	263.3	215.11'	313.11'	039°26'50"	206.18'	N16°50'02"E	N36°30'27"E
G-H	03	452.82'	546.03'	004°45'43"	452.69'	S00°00'31"E	S02°22'20"W	S02°33'25"E
H-I	04	143.43'	257.63'	089°35'54"	391.88'	N45°56'07"W	N02°22'20"E	S83°45'28"W
I-J	05	276.14'	287.83'	040°04'42"	257.94'	N27°40'01"W		
J-K	06	174.26'	297.63'	038°30'31"	170.63'	N75°59'28"W		
K-L	07	153.75'	112.83'	089°33'31"	168.44'	S19°27'13"E	S00°18'57"W	N83°45'26"E
L-M	08	120.87'	178.00'	035°20'51"	118.51'	N65°05'11"E	N89°46'06"E	N49°25'45"E
M-N	09	571.33'	524.00'	062°28'14"	543.44'	S54°32'31"W	S85°46'38"W	S23°18'24"W
N-O	10	342.88'	174.00'	112°54'15"	396.03'	S33°08'44"E	S33°18'24"W	S89°25'51"E
O-P	11	53.28'	176.00'	017°20'43"	53.98'	N80°25'25"W	N72°15'14"W	N89°05'87"W
P-Q	12	308.88'	308.88'	039°47'45"	328.18'	S16°22'09"W	S34°18'02"W	S01°31'44"E
Q-R	13	79.80'	224.00'	020°24'44"	79.38'	N79°23'34"W	N89°11'12"W	N89°25'50"W
R-S	14	132.40'	261.11'	029°03'13"	130.99'	N12°26'14"E	N80°09'50"E	N02°23'23"W
S-T	15	16.84'	281.11'	003°39'08"	16.84'	N24°50'18"E		
T-U	16	115.78'	261.11'	025°24'00"	114.82'	N10°18'41"E		
U-V	17	456.95'	549.83'	004°45'43"	456.82'	S00°00'31"E	S02°22'20"W	S02°23'23"E
V-W	18	172.06'	549.83'	001°48'12"	172.06'	S01°29'17"E		
W-X	19	86.93'	549.83'	000°56'14"	89.93'	S01°56'13"W		
X-Y	20	353.93'	205.83'	089°30'54"	371.83'	N45°55'07"W	N02°22'20"E	S83°45'26"W
Y-Z	21	207.88'	205.83'	027°35'27"	199.15'	N87°16'50"W		
Z-AA	22	157.22'	224.00'	040°12'53"	154.01'	N83°40'11"E	N85°45'28"E	N43°33'45"E
AA-AB	23	518.99'	475.00'	022°28'14"	403.68'	S84°32'31"W	S85°46'38"W	S23°18'24"W
BB-CC	24	248.29'	126.00'	112°54'15"	210.02'	S33°08'44"E	S23°18'24"W	S89°25'51"E

DIRECTOR, DISTRICT OF CHIPPewa FALLS, WISCONSIN, HEREBY CERTIFIES THAT IT CAUSED THE LAND DESCRIBED ON THIS PLAN TO BE SURVEILED, DIVIDED, MARKED AND DEDICATED AS REPRESENTED BY THIS PLAN. IT ALSO CERTIFIES THAT THIS PLAN IS REQUIRED BY S.232.10 OR S.238.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION.

_____, CITY OF CHIPPewa FALLS

_____, DEPARTMENT OF ADMINISTRATION

_____, DEPARTMENT OF TRANSPORTATION

WITNESS THE HAND AND SEAL OF SAID OWNER THIS ____ DAY OF _____, 2022.

JAMES G. ROONEY, MEMBER

STATE OF WISCONSIN

COUNTY OF _____

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 2022, THE ABOVE NAMED JAMES G. ROONEY, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME TO BE THEIR OWN FREE ACT AND DEED.

_____, NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

DIRECTOR, DISTRICT OF CHIPPewa FALLS, WISCONSIN, HEREBY CERTIFIES THAT IT CAUSED THE LAND DESCRIBED ON THIS PLAN TO BE SURVEILED, DIVIDED, MARKED AND DEDICATED AS REPRESENTED BY THIS PLAN. IT ALSO CERTIFIES THAT THIS PLAN IS REQUIRED BY S.232.10 OR S.238.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION.

_____, CITY OF CHIPPewa FALLS

_____, DEPARTMENT OF ADMINISTRATION

_____, DEPARTMENT OF TRANSPORTATION

WITNESS THE HAND AND SEAL OF SAID OWNER THIS ____ DAY OF _____, 2022.

JAMES G. ROONEY, MEMBER

STATE OF WISCONSIN

COUNTY OF _____

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_____, CITY OF CHIPPewa FALLS

_____, DEPARTMENT OF ADMINISTRATION

_____, DEPARTMENT OF TRANSPORTATION

WITNESS THE HAND AND SEAL OF SAID OWNER THIS ____ DAY OF _____, 2022.

JAMES G. ROONEY, MEMBER

STATE OF WISCONSIN

COUNTY OF _____

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_____, NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

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_____, CITY OF CHIPPewa FALLS

_____, DEPARTMENT OF ADMINISTRATION

_____, DEPARTMENT OF TRANSPORTATION

WITNESS THE HAND AND SEAL OF SAID OWNER THIS ____ DAY OF _____, 2022.

JAMES G. ROONEY, MEMBER

STATE OF WISCONSIN

COUNTY OF _____

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 2022, THE ABOVE NAMED JAMES G. ROONEY, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME TO BE THEIR OWN FREE ACT AND DEED.

_____, NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

DIRECTOR, DISTRICT OF CHIPPewa FALLS, WISCONSIN, HEREBY CERTIFIES THAT IT CAUSED THE LAND DESCRIBED ON THIS PLAN TO BE SURVEILED, DIVIDED, MARKED AND DEDICATED AS REPRESENTED BY THIS PLAN. IT ALSO CERTIFIES THAT THIS PLAN IS REQUIRED BY S.232.10 OR S.238.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION.

_____, CITY OF CHIPPewa FALLS

_____, DEPARTMENT OF ADMINISTRATION

_____, DEPARTMENT OF TRANSPORTATION

WITNESS THE HAND AND SEAL OF SAID OWNER THIS ____ DAY OF _____, 2022.

JAMES G. ROONEY, MEMBER

STATE OF WISCONSIN

COUNTY OF _____

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 2022, THE ABOVE NAMED JAMES G. ROONEY, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME TO BE THEIR OWN FREE ACT AND DEED.

_____, NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

DIRECTOR, DISTRICT OF CHIPPewa FALLS, WISCONSIN, HEREBY CERTIFIES THAT IT CAUSED THE LAND DESCRIBED ON THIS PLAN TO BE SURVEILED, DIVIDED, MARKED AND DEDICATED AS REPRESENTED BY THIS PLAN. IT ALSO CERTIFIES THAT THIS PLAN IS REQUIRED BY S.232.10 OR S.238.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION.

_____, CITY OF CHIPPewa FALLS

_____, DEPARTMENT OF ADMINISTRATION

_____, DEPARTMENT OF TRANSPORTATION

WITNESS THE HAND AND SEAL OF SAID OWNER THIS ____ DAY OF _____, 2022.

JAMES G. ROONEY, MEMBER

STATE OF WISCONSIN

COUNTY OF _____

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 2022, THE ABOVE NAMED JAMES G. ROONEY, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME TO BE THEIR OWN FREE ACT AND DEED.

_____, NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

PARK WEST II
 IN THE NW¼ OF THE NW¼ AND NE¼ OF THE NW¼,
 SECTION 1, T28N, R9W,
 COUNTY OF CHIPPewa FALLS, CHIPPewa COUNTY, WISCONSIN
 INCLUDING ALL OF LOTS 1 AND 2 OF CSR NO. 844, V. 26/P. 208-209

DATE: _____
 PATRICIA SCHIMMEL, COUNTY TREASURER

DATE: _____
 PATRICIA SCHIMMEL, COUNTY TREASURER

DATE: _____
 PATRICIA SCHIMMEL, COUNTY TREASURER

DATE: _____
 PATRICIA SCHIMMEL, COUNTY TREASURER

DATE: _____
 PATRICIA SCHIMMEL, COUNTY TREASURER

These are no objections to this plan with respect to
 the provisions of the Wisconsin Statutes, Chapter
 Wis. Stats. as provided by s. 236.12, Wis. Stats.
 Certified _____
 Department of Administration

PREPARED BY:
 DAVE AND ANNE SCHIMMEL
 DAVE CLARK ARCHITECTURAL FIRM
 CHIPPewa FALLS, WISCONSIN

DATE: 08/08/2022
 TIME: 09:10:00

SHEET 3 OF 3

CITY OF CHIPPEWA FALLS TWIN HOME CONSTRUCTION REQUIREMENTS AND STANDARDS

The Twin Home is intended to provide for development of zero lot line twin home development. Ownership of each unit will be on separate deeds. Compliance with State of Wisconsin one (1) and two (2) family Uniform Dwelling Code for attached units is required.

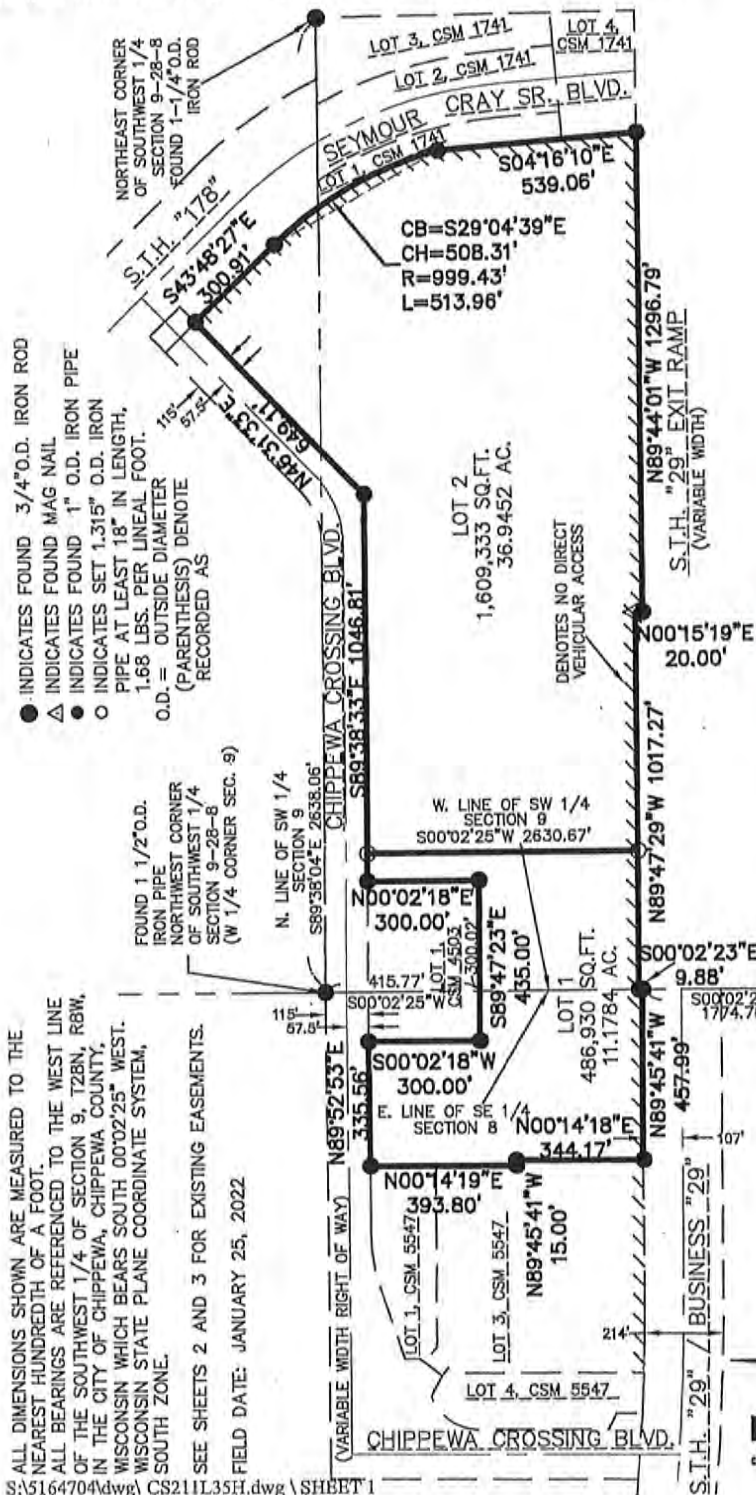
- A. The plans specification and construction shall require the installation and construction of separate sewer, water and other utility services to each twin home dwelling.
- B. Both lots containing attached twin home dwellings shall be held under the same ownership until the completion of construction of the twin home dwellings.
- C. A maintenance agreement (party wall agreement), approved by the City Zoning Administrator, shall be entered into by the owners of the attached twin home dwelling in order to ensure that equal and reasonable maintenance and repairs are performed on the attached twin home dwellings. Alternatively, provisions for maintenance of common walls may be incorporated into applicable covenants to be reviewed and approved by the City. Such agreements or covenants shall be recorded in the Chippewa County Register of Deeds.
- D. Easements necessary for water, sewer and utility services and the maintenance agreement shall be recorded with the Chippewa County Register of Deeds prior to occupancy.
- E. The exterior (such as siding), and roof materials on each attached twin home dwelling shall be the same color, quality and consistency.
- F. A joint or attached driveway serving the attached twin home dwelling is permitted provided covenants addressing the maintenance of such driveways are in a form approved by the Department.
- G. A statement shall be placed on the face of all Twin Home plats creating twin home dwelling lots stating; "When two attached, single family dwelling units are created, matters of mutual concern to the adjacent property owners, due to construction, catastrophe and/or maintenance, shall be guarded against by private agreements, covenants and deed restrictions and the City of Chippewa Falls shall not be responsible for the same."

Community	Permitted	Conditional	Min Lot Area(sf)
River Falls	R-1 Single Family Low-Density	no more than 2 in a row unless PUD	7500 for new lots, 5,000 sf -exist Lots of Record
	R-2 Multi-Family		7500 for new lots, 5,000 sf -exist Lots of Record
	R-3 Multi-Family (High Density)		
Stoughton	TR-6 Two Family District		5000 sf/lot
Altoona	Twin Home District		4500 sf/lot
	Two-Family Residential		3000 sf/lot
	Multi-Family Residential 12		
Marshfield	Multi-Family Residential 24		
	Mixed-Use		
Menomonie	R-4 Twin Home		6500 sf/lot
	R-2 One and Two-Family District		8000 sf/lot
	R-2 Twin Home District		10,000 sf/lot
Chippewa County	R - One and Two Family District	Zero lot line duplexes	
	R-2 One and Two Family District		6000 sf/lot
Eau Claire	R-2 Two-Family District		5,000 sf/lot
Hudson	R-T Transitional		
	RM-1, 3 and 4		
	R-4 Single and Two Family		10,000 sf/lot
Plover	R-6 Multi-Family		8000 sf/lot
	R-7 Multi-Family		
	R-3 Single and Two Family District		5,000 sf/lot
Stevens Point	R-4 MF		4000 sf/lot
	R-5 MF		4000 sf/lot
	N/A	Conditional Use - R-2 Two Family	4,000 sf/lot
Beaver Dam	R-2 Low-Medium Density Residential		3850 sf/lot
	R-3 Medium-Density Residential		3850 sf/lot
	Mixed Use Neighborhood		
Onalaska	CUP: R-1A Single Family		8,500 sf/lot
	Conditional: R-2 Two Family		8,500 sf/lot
	CUP: R-3 3 and 4 Family District		8,500 sf/lot
Weston	2F Two Family		10,000 SF/lot
	MF Multi Family	Varies	
Wisconsin Rapids	R-3 Multi-Family Medium Density		5,000 sf/lot
	R-4 High Density Residential		5,000 sf/lot
	R-3 Multi-Family Medium Density		5,000 sf/lot
Fox Crossing	R-4 High Density Residential		5,000 sf/lot
	None	PDD	
Superior	None	PDD	
Howard	None	PDD	
Bellevue	R-2 Two Family Residential		7,500 sf/lot

Bellevue	R-3 Multi-Family Residential	7,500 sf/lot
	Duplex Residential 8 Zoning District	9600 sf/lot
	Townhome Residential-12 District	9600 sf/lot
	Multi-Family Residential-12 District	9600 sf/lot
Wausau	R-6 Zero Lot Line Two Family District	6,000 sf/lot
	R-4 Two Family District	6,000 sf/lot
Holmen		

CERTIFIED SURVEY MAP NO. _____

A redivision of Lot 2 of Certified Survey Map No. 5547, recorded in Volume 27 of CSM's on pages 144-151 as Document number 929502, being part of the Southeast 1/4 of the Northwest 1/4 of Section 9, part of the Northeast 1/4 of the Southwest 1/4 and the Northwest 1/4 of the Southwest 1/4 of Section 9, and part of the Northeast 1/4 of the Southeast 1/4 of Section 8, all in Township 28 North, Range 8 West, in the City of Chippewa Falls, Chippewa County, Wisconsin.



- INDICATES FOUND 3/4" O.D. IRON ROD
- ▲ INDICATES FOUND MAG NAIL
- INDICATES FOUND 1" O.D. IRON PIPE
- INDICATES SET 1.315" O.D. IRON PIPE AT LEAST 18" IN LENGTH, 1.68 LBS. PER LINEAL FOOT. O.D. = OUTSIDE DIAMETER (PARENTHESES) DENOTE RECORDED AS

ALL DIMENSIONS SHOWN ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.
 ALL BEARINGS ARE REFERENCED TO THE WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 9, T28N, R8W, IN THE CITY OF CHIPPEWA, CHIPPEWA COUNTY, WISCONSIN WHICH BEARS SOUTH 00°02'25" WEST. WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.
 SEE SHEETS 2 AND 3 FOR EXISTING EASEMENTS.
 FIELD DATE: JANUARY 25, 2022



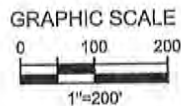
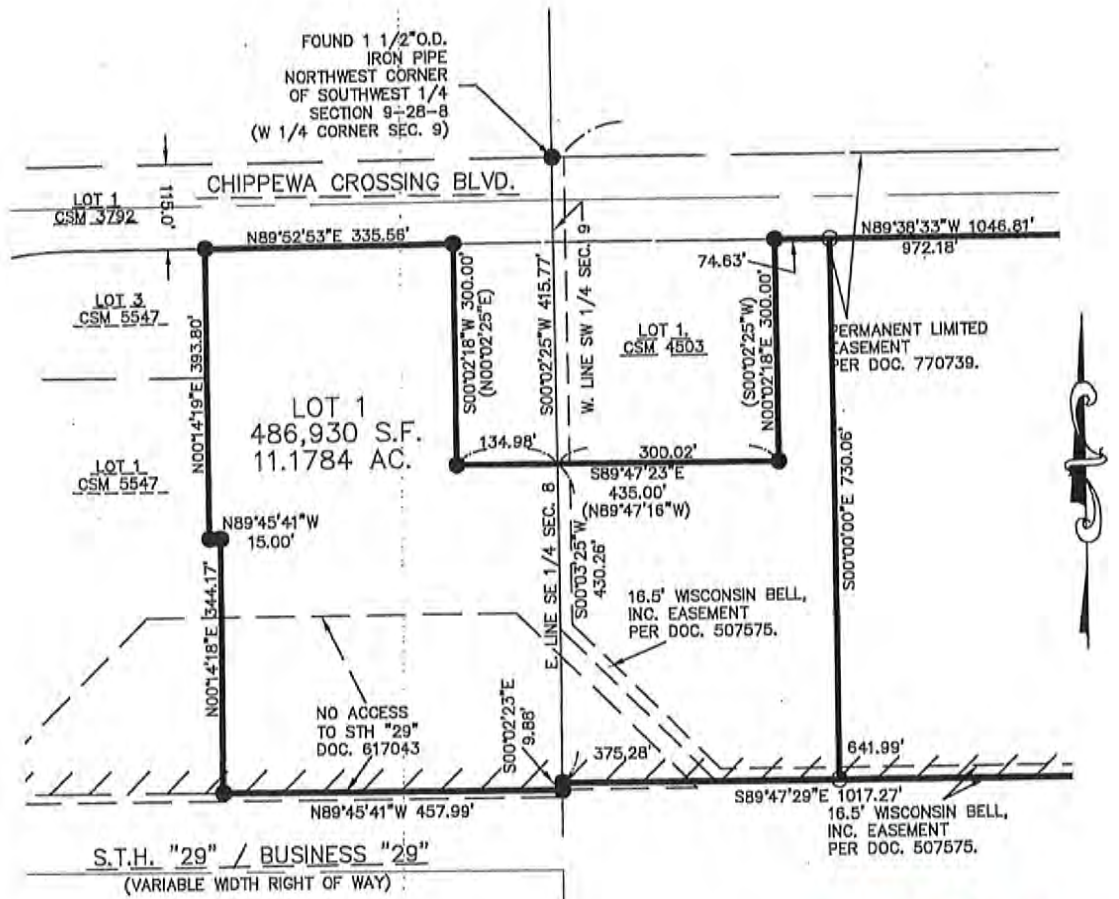
raSmith
 CREATIVITY BEYOND ENGINEERING

16745 W. Blumound Road
 Brookfield, WI 53005-5938
 (262) 781-1000
 rasmith.com

Sheet 1 of 8 Sheets

CERTIFIED SURVEY MAP NO. _____

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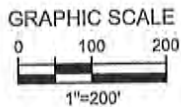
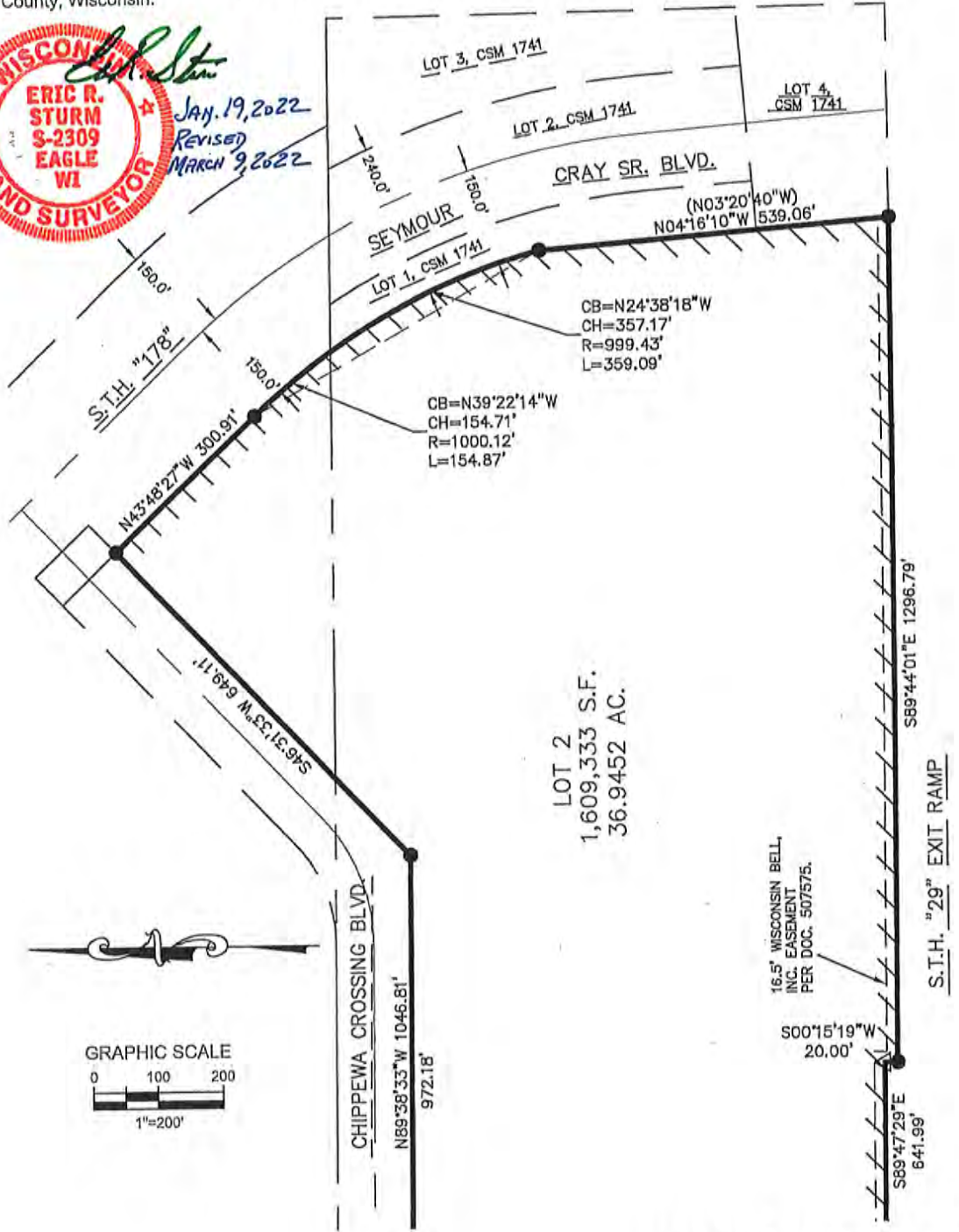


JAN. 19, 2022
 REVISED MARCH 9, 2022

raSmith
 CREATIVITY BEYOND ENGINEERING
 16745 W. Raymond Road
 Brookfield, WI 53005-9338
 (262) 791-1000
 rasmith.com

CERTIFIED SURVEY MAP NO. _____

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raSmith
 16745 W. Bluffwood Road
 Brookfield, WI 53003-6939
 (262) 781-1000
 rasmith.com

CERTIFIED SURVEY MAP NO. _____

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SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN }
 :SS
WAUKESHA COUNTY }

I, ERIC R. STURM, Professional Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped a redivision of Lot 2 of Certified Survey Map No. 5547, recorded in Volume 27 of CSM's on pages 144-151 as Document number 929502, being part of the Southeast 1/4 of the Northwest 1/4 of Section 9, part of the Northeast 1/4 of the Southwest 1/4 and the Northwest 1/4 of the Southwest 1/4 of Section 9, and part of the Northeast 1/4 of the Southeast 1/4 of Section 8, all in Township 28 North, Range 8 West, in the City of Chippewa Falls, Chippewa County, Wisconsin, which is bounded and described as follows:

COMMENCING at the Northwest corner of the Southwest 1/4 of said Section 9; thence South 00°02'25" West along the West line of said Southwest 1/4 Section 415.77 feet to a point on the South line of Lot 1 of Certified Survey Map No. 4503 and the point of beginning; thence South 89°47'23" East along said South line 300.02 feet to the Southeast corner of said Lot 1; thence North 00°02'18" East along the East line of said Lot 1, a distance of 300.00 feet to the Northeast corner of said Lot 1, and the South line of Chippewa Crossing Boulevard; thence South 89°38'33" East along said South line 1046.81 feet to a point; thence North 46°31'33" East along said South line 649.11 feet to a point on the South line of State Highway "178"; thence South 43°48'27" East along said South line 300.91 feet to a point; thence Southeasterly 513.96 feet along the arc of a curve, whose center lies to the West, whose radius is 999.43 feet, and whose chord bears South 29°04'39" East 508.31 feet to a point; thence South 04°16'10" East along the West line of Seymour Cray SR. Boulevard 539.06 feet to the Southwest corner of Lot 4 of Certified Survey Map No. 1741; thence North 89°44'01" West along the North line of State Highway "29" Exit Ramp 1296.79 feet to a point; thence North 00°15'19" East 20.00 feet to a point; thence North 89°47'29" West along the North line of State Highway "29" (also known as Business "29") 1017.27 feet to a point; thence South 00°02'23" East 9.88 feet to a point; thence North 89°45'41" West along said North line 457.99 feet to the Southeast corner of Lot 3 of Certified Survey Map No. 5547; thence North 00°14'18" East along the East line of said Lot 3, a distance of 344.17 feet to a point; thence North 89°45'41" West 15.00 feet to a point; thence North 00°14'19" East along the East line of Lot 3 and Lot 1 in Certified Survey Map No. 5547 for a distance of 393.80 feet to the Northeast corner of said Lot 3; thence North 89°52'53" East along the South line of Chippewa Crossing Boulevard 335.56 feet to the Northwest corner of Lot 1 of Certified Survey Map No. 4503; thence South 00°02'18" West along the West line of said Lot 1, a distance of 300.00 feet to the Southwest corner of said Lot 1; thence South 89°47'23" East along the South line of said Lot 1, a distance of 134.98 feet to the point of beginning.

Said Lands contain 2,096,264 sq.ft. or 48.1236 ac.



JAN. 19, 2022
REVISED MARCH 9, 2022

CERTIFIED SURVEY MAP NO. _____

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SURVEYOR'S CERTIFICATE (continued)

THAT I have made the survey, land division and map by the direction of SMW Chippewa Falls, LLC, TD Chippewa Falls, LLC, WW Chippewa Falls, LLC, and Chippewa Crossing Partners, LLC, owners.

THAT the map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT this survey was prepared under my supervision and is correct to the best of my professional knowledge and belief and complies with Chapter AE-7 of the Wisconsin Administrative Code.

THAT I have fully complied with Chapter 236 of the Wisconsin Statutes and Chapter 14 of the City of Chippewa Falls Municipal Code in surveying, dividing and mapping the same.

DATE January 19, 2022 _____ (SEAL)
REVISED
MARCH 9, 2022



Eric R. Sturm
ERIC R. STURM
PROFESSIONAL LAND SURVEYOR S-2309

CITY OF CHIPPEWA FALLS APPROVAL CERTIFICATE

This Certified Survey Map is Approved by the Common Council of the City of Chippewa Falls this _____ day of _____ 202__.

Greg Hoffman, Mayor

Date:

Bridget Givens, City Clerk

Date:

CERTIFIED SURVEY MAP NO. _____

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OWNER'S CERTIFICATE

SMW Chippewa Falls, LLC, TD Chippewa Falls, LLC, and WW Chippewa Falls, LLC, limited liability companies duly organized and existing under and by virtue of the laws of the State of _____, on behalf of all owners, certify that said limited liability company caused the land described on this map to the surveyed, divided, and mapped as represented on this map.

SMW Chippewa Falls, LLC, TD Chippewa Falls, LLC, and WW Chippewa Falls, LLC, does further certify that this map is required by S.236.10 or 236.12 to be submitted to the following for approval or objection: City of Chippewa Falls

IN Witness Whereof, _____, has caused these presents to be signed by _____, its _____, at _____, this _____ day of _____, 202__.

SMW Chippewa Falls, LLC
 TD Chippewa Falls, LLC
 WW Chippewa Falls, LLC
 on behalf of all ownership entities above

 By: Stewart M. Wangard, Member

STATE OF _____ }
 _____ COUNTY } :SS

PERSONALLY came before me this _____ day of _____, 202__, _____ of the above named corporation, to me known as the person who executed the foregoing instrument, and to me known to be such Member of the corporation, and acknowledged that he/she executed the foregoing instrument as such officer, by its authority.

 Notary Public, State of _____
 My commission expires _____
 My commission is permanent.



CERTIFIED SURVEY MAP NO. _____

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OWNER'S CERTIFICATE

Chippewa Crossing Partners, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of _____, on behalf of all owners, certify that said limited liability company caused the land described on this map to the surveyed, divided, and mapped as represented on this map.

Chippewa Crossing Partners, LLC, does further certify that this map is required by S.236.10 or 236.12 to be submitted to the following for approval or objection: City of Chippewa Falls

IN Witness Whereof, _____, has caused these presents to be signed by _____, its _____, at _____, _____, this _____ day of _____, 202__.

Chippewa Crossing Partners, LLC

By: Deborah A. Bernhardt, attorney-in-fact
for John Bernhardt, Member

STATE OF _____ }
 }SS
_____ COUNTY }

PERSONALLY came before me this _____ day of _____, 202__, _____ of the above named corporation, to me known as the person who executed the foregoing instrument, and to me known to be such Member of the corporation, and acknowledged that he/she executed the foregoing instrument as such officer, by its authority.

_____(SEAL)
Notary Public, State of _____
My commission expires _____
My commission is permanent.



CERTIFIED SURVEY MAP NO. _____

A redivision of Lot 2 of Certified Survey Map No. 5547, recorded in Volume 27 of CSM's on pages 144-151 as Document number 929502, being part of the Southeast 1/4 of the Northwest 1/4 of Section 9, part of the Northeast 1/4 of the Southwest 1/4 and the Northwest 1/4 of the Southwest 1/4 of Section 9, and part of the Northeast 1/4 of the Southeast 1/4 of Section 8, all in Township 28 North, Range 8 West, in the City of Chippewa Falls, Chippewa County, Wisconsin.

CONSENT OF CORPORATE MORTGAGEE

_____, a _____, mortgagee of that portion of the above-described land identified in this Certified Survey Map, does hereby consent to the surveying, dividing and mapping of the land described in the foregoing affidavit of ERIC R. STURM, Surveyor, and does hereby consent to the certificate of said owner.

In witness whereof, the said _____, has caused these presents to be signed by _____, its _____, and by _____, its _____, at _____, and _____, its corporate seal to be hereunto affixed.

this ___ day of _____, 202__.

STATE OF _____ }
 :SS
 COUNTY OF _____ }

PERSONALLY came before me this _____ day of _____, 202__,
 _____ and _____ of the
 (name) (title) (name) (title)

above named organization, to me known as the person(s) who executed the foregoing instrument, and to me known to be the _____ and the _____ of the organization, and acknowledged that they executed the foregoing instrument as such officer(s) as the deed of the organization, by its authority.

 Notary Public, State of _____
 My commission expires _____



JAN. 19, 2022
REVISED MARCH 9, 2022

THIS INSTRUMENT WAS DRAFTED BY ERIC R. STURM,
 PROFESSIONAL LAND SURVEYOR S-2309

Date Filed: April 4,2022

Fee Paid: _____ Date: _____ TR#: _____

Fee Paid: _____ Date: _____ TR#: _____

PETITION FOR A CONDITIONAL USE PERMIT

TO THE CITY OF CHIPPEWA FALLS, WISCONSIN:

I/We, the undersigned, hereby petition the Plan Commission of the City of Chippewa Falls, WI, for a Conditional Use Permit as authorized by the Chippewa Falls Zoning Code, Section 17.47, for the following described property:

Address of Property: No address at this time

Lot#: 6 Block#: 3 Subdivision: Lake Wissota Business Park-First Addition

Parcel#: 22908-3313-66430306

Legal Description: Lot 6, Block 3, Plat of Lake Wissota Business Park-First Addition, City of Chippewa Falls, Chippewa County, Wisconsin

Zoning classification of property: O-2, Office and Institutional – See included City Zoning Map

Purpose for which this Permit is being requested: To construct a new two-tenant building and site for a financial institution and a coffee shop. The proposed design has two (2) drive-through – one serving each tenant. The proposed site design is non-conforming as it does not meet the requirements for parking setback for O-2 zoning. Also in an effort to reduce driveways into County Highway 1, Chippewa County (the property developer) has encouraged the use of a shared access driveway for Lot 6 and Lot 5.

Existing use of property within 300 feet of subject property: (List or attach map)
O-2, Office and Institutional and P-1, Public – See included City Zoning Map.

Recite any facts indicating that the proposed use will not be detrimental to the general public's interest, the purposes of this Chapter and the general area in which it is located: The proposed building and site will develop a piece of property in a responsible manner while providing two useful business to serve the surrounding area. The stormwater management has been designed using minimal impact design standards (MIDS). The drive-throughs have

been designed with ample stacking – 15 vehicles for the coffee drive-through and 10 vehicles for the financial drive-through. At the request of the developer, the building parking aligns with the southern property line to bring the building closer to the community trail that is parallel to Highway I.

Operational plans of the proposed use:

Hours of Operation: Coffee – 6am – 4p M-F; 6:30a-4p Sat & Sun; Bank: 8a-5:30p M-F; 8a-12p Sat

Days of Operation: Monday – Sunday, All days

Number of Employees: Coffee, 1; Bank 2
Part-time

Coffee: 1; Bank 4
Full-time

Capacity:

Number of Units: N/A – Two business, coffee and financial

Size: 5,800 Sq. Ft.

Number of Residents/Children: N/A

Ages: N/A

Other: Occupant load as calculated by the city standards for parking is 43

Building plans:

Existing buildings: N/A

Proposed buildings: One (1) building, two (2) tenants

Use of part of building: Group B, Business and Group S-1, Storage

Proposed additions: N/A

Future additions: N/A

Change in use: N/A

Outside appearance: Brick and stone building with gable/ peak roof covered in asphalt shingles

Number of buildings: One (1) new proposed building, two (2) tenants

Planting & Landscaping:

Type: Sod and rock groundcovering. Plantings, including native tree and plant species

Timetable: Proposed construction would begin late Spring/ Early summer dependant on permitting timetables.

Screening:

Type: Plantings, trash enclosure to match the building construction.

Fences: N/A – none proposed

Type: _____

Height: _____

Location: _____

Earth Bank:

Planting: See proposed landscape plan

Maintenance: Proposed professional maintenance, including mowing of sod, and maintenance of plantings and trees. Sod and planning will have an irrigation system

Other: _____

Lights:

Number of lights: 12 light poles, 9 wall packs plus under canopy lighting.

Location: See drawings

Hours: Dusk to dawn – required for financial drive-through and parking lot safety.

Type: Light poles, building mounted lighting and canopy lighting

Signs:

Type: Proposed monument sign and pylon sign with message center

Lighted: Yes/ internal illumination

Size: See drawings, signage will be permitted separately by tenant's signage vendors

Location: Monument sign – 16 ft. from closest driveway; Pylon sign 20' from ROW; 30 ft + from roadway

Setbacks: See drawings

Drives:

Number of: Two (2)

Location: One on Lakeland Drive and one shared access on County Highway I that will be shared with Lot 5

Width: 25 ft.

Parking:

Number of stalls: 44 provided including 2 for trailer parking on west property line

Location of stalls: South and west of the building, see drawings

Setbacks: 0 ft proposed on south property line (Hwy I) and 5 ft west property line

Surfacing: Bituminous paving – see civil drawings for paving section

Screening: Plantings are provided but not to screen parking

Drainage:

Storm sewer: Yes, self-contained on site

Rock beds: Yes, in parking areas and around rear of building

Detention pond: No, see included civil drawings for stormwater management

Retention pond: Yes, see included civil drawings for stormwater management

Submit site plan showing property line, buildings and other structures.

List any additional information being submitted with this permit application: Site plans including civil drawings showing grading and stormwater management, floor plans, colored exterior elevations, 3D exterior renderings, preliminary signage designs. Also included are the ALTA surveys for the development and parcel as well as the City's zoning map illustrating the property uses within 300 ft.

IN ORDER FOR THIS PETITION TO BE CONSIDERED, THE OWNER(S) OF THE PROPERTY MUST SIGN BELOW:

Owner(s)/Address(es):



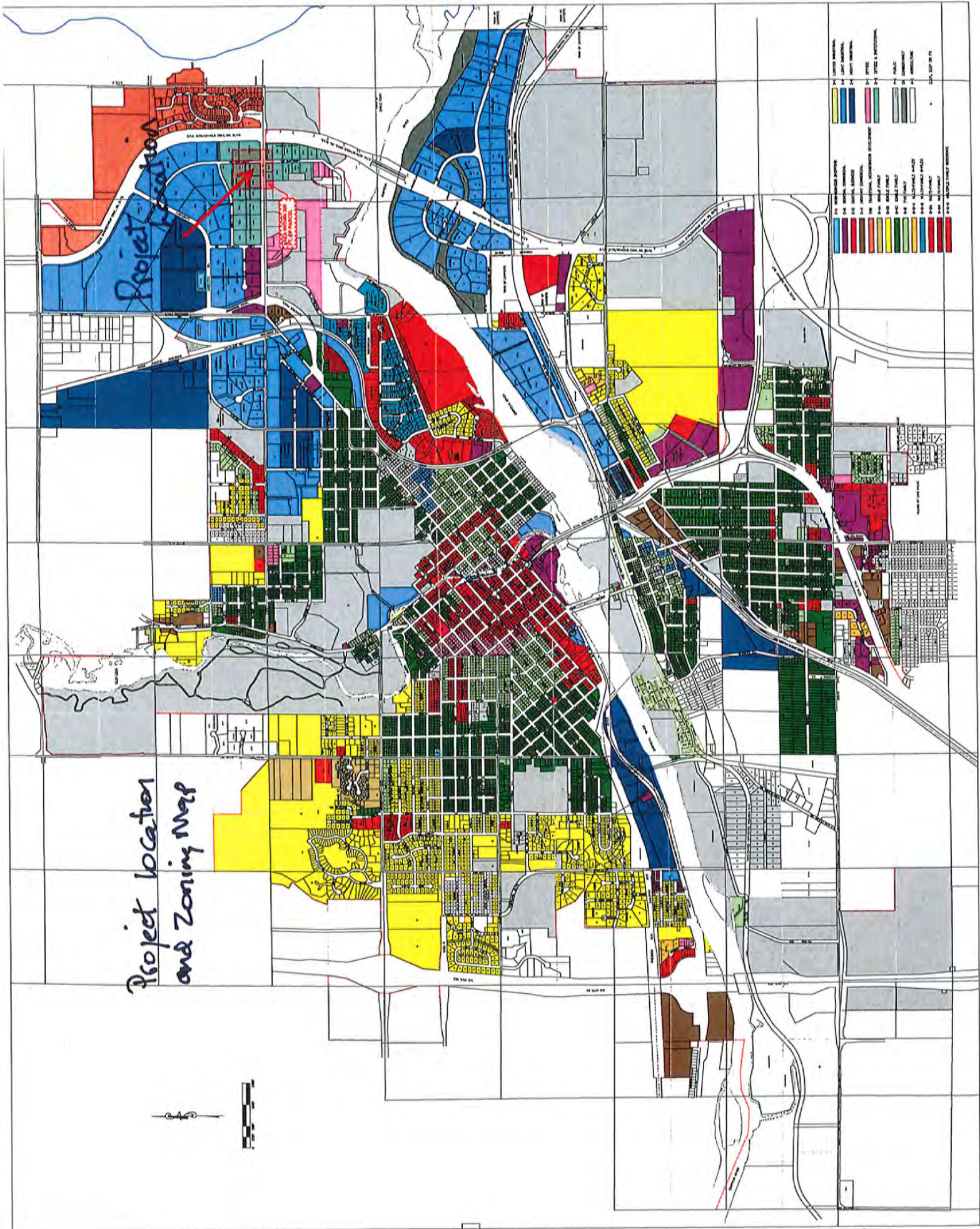
Peter Hoefft, Owner
Southside Holdings LLC
1450 Rivers Edge Trail, Suite A
Altoona WI, 54720
Phone #: (715) 833-1761
Email: peter@hoefftbuilders.com

Petitioner(s)/Address(es):



Josh Longo, Sr. Project Manager
HTG Architects
1010 Mainstreet, Suite 100
Hopkins, MN 55343
Phone #: (952) 204-3249
Email: jlongo@htg-architects.com

Project location and Zoning Map

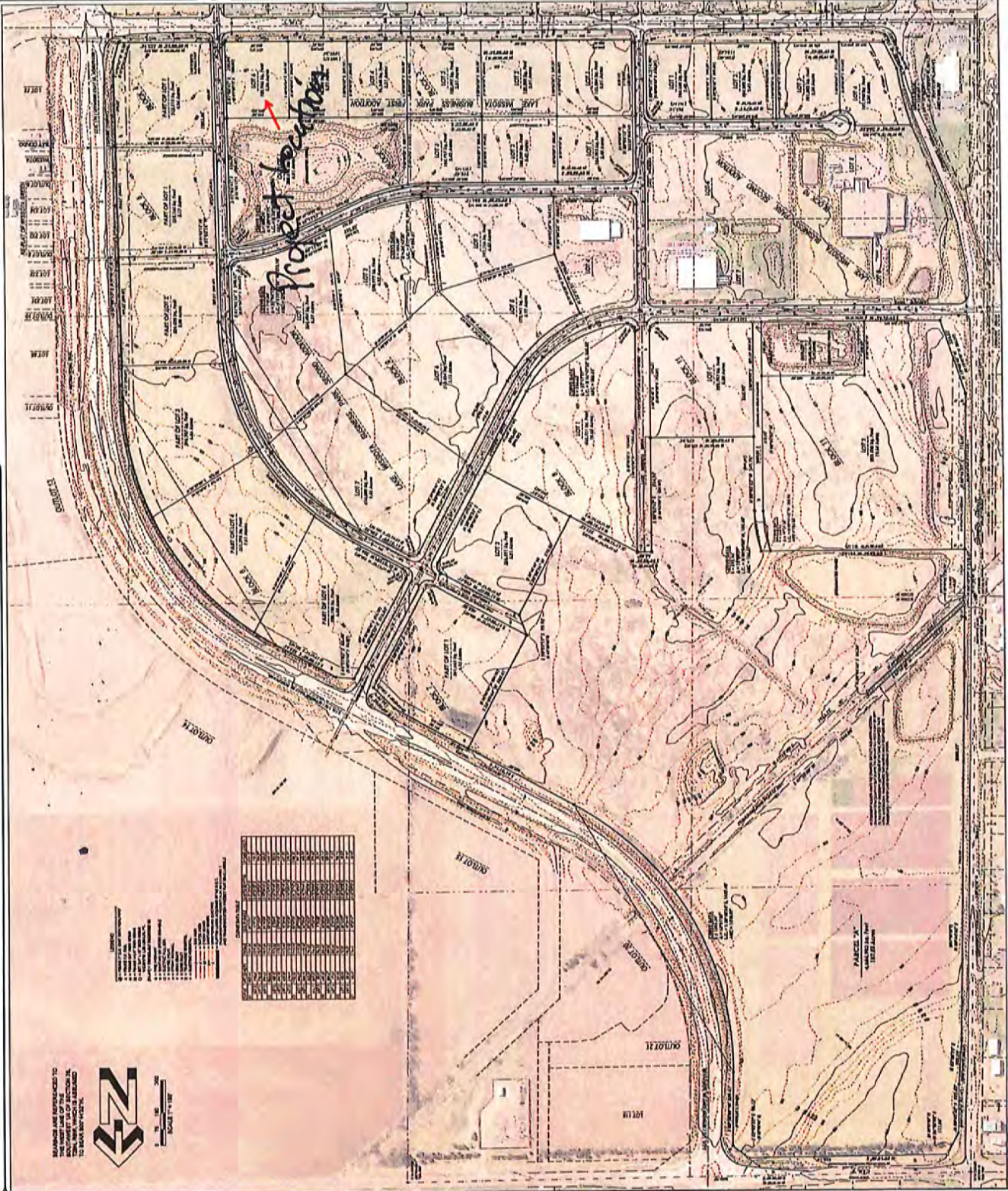


ALTA/ACSM LAND TITLE SURVEY

Being Located in the Northeast 1/4 of the Southwest 1/4, the Northwest 1/4 of the Southwest 1/4, the Southwest 1/4 of the Southwest 1/4, and the Southwest 1/4 of the Southwest 1/4, also located in the North 1/2 of Section 33, all in Town 29 North, Range 6 West, City of Chippewa Falls, Chippewa County, Wisconsin, including Lots 1-6 in Block 6, and part of Lot 1 in Block 7 of Lots 1-3 in Block 7, and Lots 1-2 and 4-5 in Block 8, Lots 1-2 and 4-5 in Block 9, and Lots 1-3 in Block 10, and Lots 1-3 in Block 11 of Lake Wizardo Business Park, Second Addition.



NO.	DESCRIPTION	ACRES	AREA
1	Lot 1, Block 6	0.15	0.15
2	Lot 2, Block 6	0.15	0.15
3	Lot 3, Block 6	0.15	0.15
4	Lot 4, Block 6	0.15	0.15
5	Lot 5, Block 6	0.15	0.15
6	Lot 6, Block 6	0.15	0.15
7	Lot 1, Block 7	0.15	0.15
8	Lot 2, Block 7	0.15	0.15
9	Lot 3, Block 7	0.15	0.15
10	Lot 1, Block 8	0.15	0.15
11	Lot 2, Block 8	0.15	0.15
12	Lot 3, Block 8	0.15	0.15
13	Lot 4, Block 8	0.15	0.15
14	Lot 5, Block 8	0.15	0.15
15	Lot 1, Block 9	0.15	0.15
16	Lot 2, Block 9	0.15	0.15
17	Lot 3, Block 9	0.15	0.15
18	Lot 4, Block 9	0.15	0.15
19	Lot 5, Block 9	0.15	0.15
20	Lot 1, Block 10	0.15	0.15
21	Lot 2, Block 10	0.15	0.15
22	Lot 3, Block 10	0.15	0.15
23	Lot 4, Block 10	0.15	0.15
24	Lot 5, Block 10	0.15	0.15
25	Lot 1, Block 11	0.15	0.15
26	Lot 2, Block 11	0.15	0.15
27	Lot 3, Block 11	0.15	0.15
28	Lot 4, Block 11	0.15	0.15
29	Lot 5, Block 11	0.15	0.15
30	Lot 6, Block 11	0.15	0.15



DESCRIPTIONS:

PARTICLE 1:

Being located in part of the Northwest 1/4 of the Southwest 1/4, the Northwest 1/4 of the Southwest 1/4, and the Southwest 1/4 of the Southwest 1/4, also located in the North 1/2 of Section 33, all in Town 29 North, Range 6 West, City of Chippewa Falls, Chippewa County, Wisconsin. The parcel is more particularly described as follows:

Containing the Northeast 1/4 of the Southwest 1/4 of the Southwest 1/4, the Northwest 1/4 of the Southwest 1/4, and the Southwest 1/4 of the Southwest 1/4, also located in the North 1/2 of Section 33, all in Town 29 North, Range 6 West, City of Chippewa Falls, Chippewa County, Wisconsin, including Lots 1-6 in Block 6, and part of Lot 1 in Block 7 of Lots 1-3 in Block 7, and Lots 1-2 and 4-5 in Block 8, Lots 1-2 and 4-5 in Block 9, and Lots 1-3 in Block 10, and Lots 1-3 in Block 11 of Lake Wizardo Business Park, Second Addition.

SURVEYOR'S CERTIFICATE

I, the City of Chippewa Falls, Chippewa County, and Citizens Creating LLC, its successors and assigns, do hereby certify that the above described parcel is located within the boundaries of the City of Chippewa Falls, Chippewa County, Wisconsin, and is more particularly described as follows:

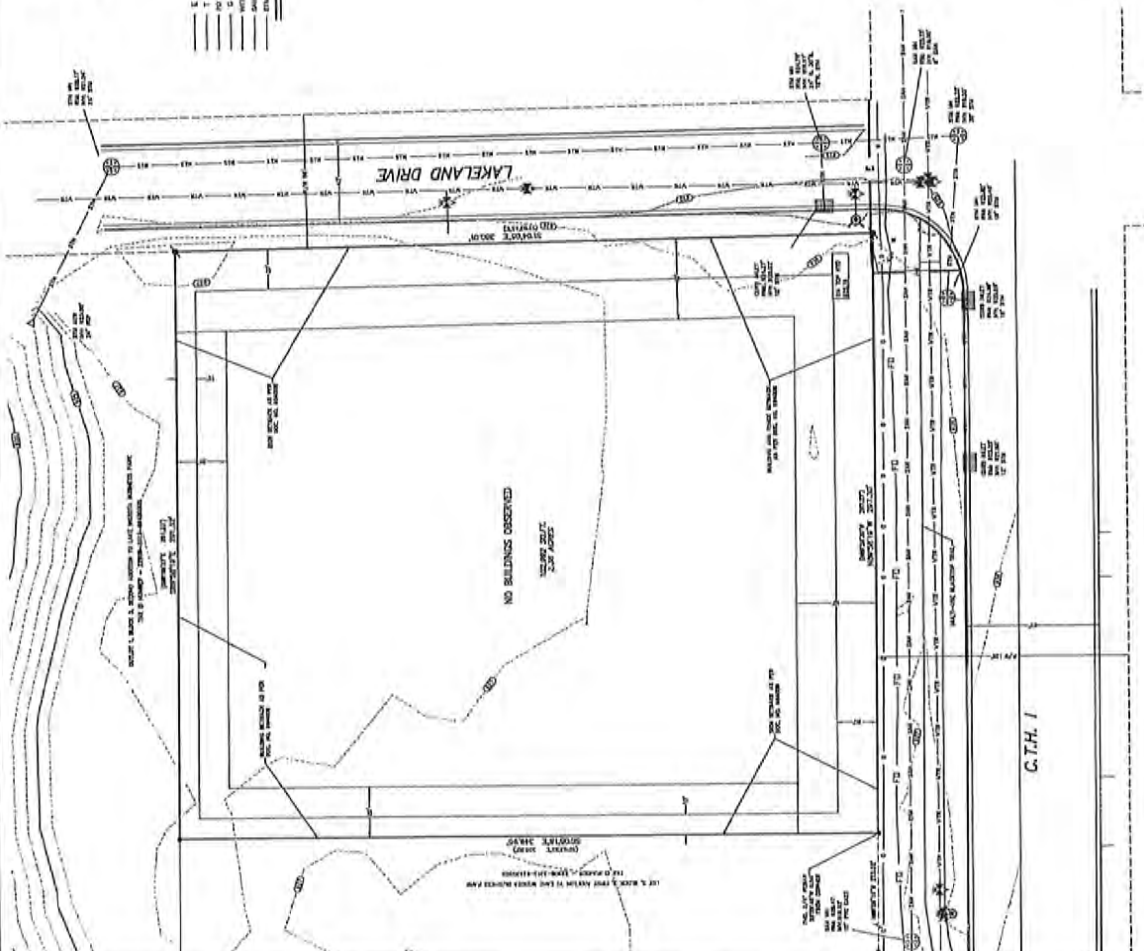
Containing the Northeast 1/4 of the Southwest 1/4 of the Southwest 1/4, the Northwest 1/4 of the Southwest 1/4, and the Southwest 1/4 of the Southwest 1/4, also located in the North 1/2 of Section 33, all in Town 29 North, Range 6 West, City of Chippewa Falls, Chippewa County, Wisconsin, including Lots 1-6 in Block 6, and part of Lot 1 in Block 7 of Lots 1-3 in Block 7, and Lots 1-2 and 4-5 in Block 8, Lots 1-2 and 4-5 in Block 9, and Lots 1-3 in Block 10, and Lots 1-3 in Block 11 of Lake Wizardo Business Park, Second Addition.

I have verified the map and the survey of the above described parcel is a true and correct representation of the actual conditions on the ground as of the date of this certificate.

Dated this 1st day of October, 2023.

[Signature]
 Surveyor
 Chippewa Falls, Wisconsin 54729
 Professional No. 1000000000

- LEGEND**
- ① 1" = 10' BENCH MARK
 - ② 1" = 10' BENCH MARK
 - ③ 1" = 10' BENCH MARK
 - ④ 1" = 10' BENCH MARK
 - ⑤ 1" = 10' BENCH MARK
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 - ㊿ 1" = 10' BENCH MARK



SUBJECTS, COORDINATE.
 TO FIRST AMERICAN TITLE INSURANCE COMPANY, FIRST AMERICAN TITLE INSURANCE COMPANY, THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2001 EDITION OF THE NATIONAL CONFERENCE OF SURVEYORS' MANUAL AND THE SURVEYING AND MAPPING ACTS OF 1977 AND 1982, AND INCLUDED THEREIN, 4, 5 AND 119 OF TABLE A, THEREOF. THE FIELDWORK WAS COMPLETED ON OCTOBER 4, 2021.

[Signature]
 PETER J. CARROLL, PLS. 2021

LEGAL DESCRIPTION:
 LOT 5, BLOCK 3, PLAT OF LAKE WISCONSIN BUSINESS PARK—FIRST ADDITION, CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN, AS SHOWN ON THE SURVEY RECORDED FROM TITLE COMMITMENT WRITTEN BY FIRST BARRY TITLE UNITED LLC WITH A FILE # OF 208779 AND REVISED ON OCTOBER 11, 2021.
 11. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND OTHER MATTERS CONTAINED IN WARRANTY DEED RECORDED ON DECEMBER 10, 2013 RECORDED IN VOLUME 24 OF DEEDS ON PAGE 183 AS DOCUMENT NO. 67810.
 THIS DOCUMENT IS A PART OF THE SURVEY AND IS TO BE CONSIDERED A PART OF THE SURVEY. THE LEGAL APPLICATIONS OF THIS DOCUMENT, NOTE THAT THE SURVEYED PARCEL DOES NOT ABUT ANY OF THE CHIPPENNA RIVER.
 12. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND OTHER MATTERS CONTAINED IN AGREEMENT RECORDED ON JUNE 4, 1987 IN VOLUME 3 OF MISCELLANEOUS RECORDS ON PAGE 107 AS DOCUMENT NO. 67810.
 13. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND OTHER MATTERS CONTAINED IN WARRANTY DEED RECORDED ON AUGUST 24, 2013 RECORDED IN VOLUME 24 OF DEEDS ON PAGE 94 AS DOCUMENT NO. 67810.
 NO PARTS OF THE RIGHT OF WAY AND REPARATION PRIVILEGES REFERRED TO IN THIS DOCUMENT ARE CONTAINED IN, CROSS OF A PART OF THE SUBJECT PROPERTY.
 14. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND OTHER MATTERS CONTAINED IN EASEMENT DEED RECORDED ON JUNE 23, 2013 RECORDED IN VOLUME 24 OF DEEDS ON PAGE 183 AS DOCUMENT NO. 67810.
 THIS DOCUMENT APPEARS TO CONTAIN MATTERS CONCERNING EASEMENTS AND OTHER MATTERS CONTAINED IN WARRANTY DEED RECORDED ON DECEMBER 10, 2013 RECORDED IN VOLUME 24 OF DEEDS ON PAGE 183 AS DOCUMENT NO. 67810.
 15. EASEMENTS, RESTRICTIONS, EASEMENTS AND OTHER MATTERS CONTAINED IN RESOLUTION NO. 24-19 RECORDED ON MARCH 22, 1978 AS DOCUMENT NO. 377004.
 THE SURVEYED PARCEL IS CONTAINED IN THE LANDS DESCRIBED IN THIS DOCUMENT AS A BLANKET INCLUSION.
 16. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND OTHER MATTERS SHOWN ON THE PLAT OF LAKE WISCONSIN BUSINESS PARK—FIRST ADDITION, CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN, AS SHOWN ON THE SURVEY RECORDED ON OCTOBER 11, 2021.
 THERE ARE NO EASEMENTS SHOWN ON THIS PLAT THAT ARE A PART OF THE SURVEYED PARCEL.
 17. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND OTHER MATTERS CONTAINED IN LAKE WISCONSIN BUSINESS PARK DEED RECORDED ON JUNE 23, 2013 RECORDED IN VOLUME 24 OF DEEDS ON PAGE 183 AS DOCUMENT NO. 67810.
 BUILDING, FENCE AND SIGN EASEMENTS ARE SHOWN. OTHER MATTERS ARE BLANKET.

NOTES:
 - UTILITY LOCATIONS ARE FROM MOBILE STRUCTURES AND MARKING BY NUMBERS BY HODGES HOLDING TRUST #2021 14022546
 - ELEVATION INFORMATION IS FROM A GROUND SURVEY. THE CONTOUR INTERVAL IS 1 FOOT WITH THE DATUM BEING NAD83.



ALTA/ACSM LAND TITLE SURVEY
 BEING ALL OF LOT 5, BLOCK 3,
 LAKE WISCONSIN BUSINESS PARK—FIRST ADDITION,
 SECTION 33, TOWNSHIP 29 NORTH, RANGE 10 WEST,
 CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN

REAL LAND SURVEYING
 1300 INTERNATIONAL DRIVE
 EAU CLAIRE, WISCONSIN 54601
 (715) 214-1115



SCALE: 1" = 30'

FIELD WORK WAS COMPLETED ON OCTOBER 04, 2021

FORM 1001 SURVEY



www.htg-architects.com
 Minneapolis, MN 55347
 Tel: 952.278.0900
 Fax: 952.278.9922

PROJECT

**CHIPPEWA
 FINANCIAL
 AND COFFEE**

**LOT 6 BLOCK 3
 LAKE WISCONSIN
 BUSINESS PARK**

ISSUED SET	DATE	NO.
REVISIONS		



ADVANCED ENGINEERING CONCEPTS
 1360 EAU CLAIRE, W. 54701
 PH: 715-552-0300
 COPYRIGHT 2022 AEC LLC.

SITE PLAN

DRAWN BY:ms
 CREDIT BY:ms

C300

100% PROJECT DESIGN
 COPYRIGHT © 2022 BY HTG
 ARCHITECTS

BACK OF CURB RADIUS LEGEND

LETTER	LENGTH
A	2.5 FEET
B	4 FEET
C	4.5 FEET
D	8.5 FEET
E	17.5 FEET
F	25.5 FEET
G	75 FEET

HATCHING LEGEND

[Hatching Pattern]	PROPOSED BITUMINOUS PAVEMENT
[Hatching Pattern]	PROPOSED BUILDING
[Hatching Pattern]	PROPOSED CONCRETE PAVEMENT (SEE DETAILS FOR NOTES) (WARRANTY OF THIRTY-TWO MONTHS)

**FIRST BANK OF BALDWIN
 CARIBOU COFFEE
 CTHI AT LAKELAND DRIVE**

CURRENT ZONING: O-2
LOT SIZE: 102,892 SF (2.38 AC)

EXISTING IMPROVISED AREA: 0-9' (0.0%)
EXISTING UNIMPROVED AREA: 102,892 SF (2.38 AC)

PROPOSED USE: INSTITUTIONAL & BUSINESS

PROPOSED BEADING: 5.00'-0" (5.00)
PROPOSED PAVING: 42,394-SF (42.42)
PROPOSED PAVING: 2,402-SF (2.40)
PROPOSED GREEN SPACE: 47,393-SF (46.94)

PARKING SPACES: 82 TOTAL (2 ACROSS)

SETBACKS: 30'
REAR: 30'

GENERAL NOTES:

- UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR EXACT DEPTH OR LOCATION. A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR UTILITIES SHALL BE REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
- CONTRACTOR SHALL NOT OCCUPY ANY R/W AREAS. ANY R/W AREAS SHALL BE PROTECTED BY A TEMPORARY CONSTRUCTION FENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL MEASURES TO BE TAKEN DURING CONSTRUCTION. DUST CONTROL SHALL BE INCORPORATED INTO THE PROJECT.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OF CONFLICTS BETWEEN THE AS-BUILT RECORDS AND THE RECORD DRAWINGS ON THE PLANS AND THE RECORD DRAWINGS SHALL BE THE BASIS FOR ANY SITE LAYOUT AS PROVIDED BY THE ENGINEER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND TO NOTIFY THE DESIGNER IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
- PAINT THE WORK ON ASPHALT PAVING, CONCRETE CURBS, WALKS, AND RAMPERS SHALL BE FACTORY APPLIED. EXCEPT WHERE NOTED OTHERWISE, ALL PAINT SHALL BE WHITE. EXCEPT WHERE NOTED OTHERWISE, ALL PAINT SHALL BE APPLIED TO THE SURFACE OF THE PAVEMENT AND SHALL BE APPLIED WITH MECHANICAL EQUIPMENT TO PREPARE IMPROVED STRENGTH DRIVEWAYS. CONTRACTOR TO PREPARE IMPROVED STRENGTH DRIVEWAYS. CONTRACTOR TO RECOMMEND RADIUS OF CURVES.

SITE PLAN KEY NOTES

1	1" CAS (DETAIL C-200)
2	1" CAS (DETAIL C-200)
3	CURB FINISH (DETAIL C-300)
4	PAVEMENT FINISH 1" CONCRETE
5	ACCESSIBLE RAMP (DETAIL C-400)
6	ACCESSIBLE RAMP (DETAIL C-400)
7	SIDEWALK CURB (DETAIL C-300)
8	5" PCC SIDEWALK (DETAIL C-300)
9	CURB CUT (DETAIL C-300)
10	15'x22' PCC SLAB FOR TRASH ENCLOSURE
11	5' X 12' BIC RACK
12	FOUNDATION SIGN (SEE ARCH. PLANS)
13	LOADING STATION (SEE ARCH. PLANS)
14	DRIVEWAY (DETAIL C-410)
15	DRIVEWAY (DETAIL C-410)
16	12' X 10' PCC PAVT. (SEE ARCH. PLANS)
17	12' X 10' PCC PAVT. (SEE ARCH. PLANS)
18	4.5' X 37' PCC PAVT. (SEE ARCH. PLANS)
19	6' X 7' TRANSFORMER PAD (VERIFY W/UTILITY OWNERS)
20	MATCH EXISTING PAVEMENT & ELEVATION
21	DRIVE THROUGH CURB (DETAIL C-400)
22	5' X 5' PCC SIDEWALK
23	5' X 5' PCC SIDEWALK
24	5' X 5' PCC SIDEWALK
25	ROCK PAVEMENT EDGE (DETAIL C-300)
26	15' WIDE GRASSED FILTER STRIP
27	4' X 24' GRASSED SWALE (DETAIL C-204)
28	UNIRECTIONAL SIGN
29	10' X 14' PCC SLAB
30	15' REBORN CURB (DETAIL C-300)
31	15' MOUNTABLE CURB (DETAIL C-300)
32	PYLON SIGN (SEE ARCH. SIGN PLAN)

TYPICAL PAVEMENT SECTION

4" LT. 58-34.5 HMA	7.5"
4" LT. 58-0B.5 HMA	7.5"
8" C.A.B.C. (1-1/4")	
12" SAND SUBBASE	

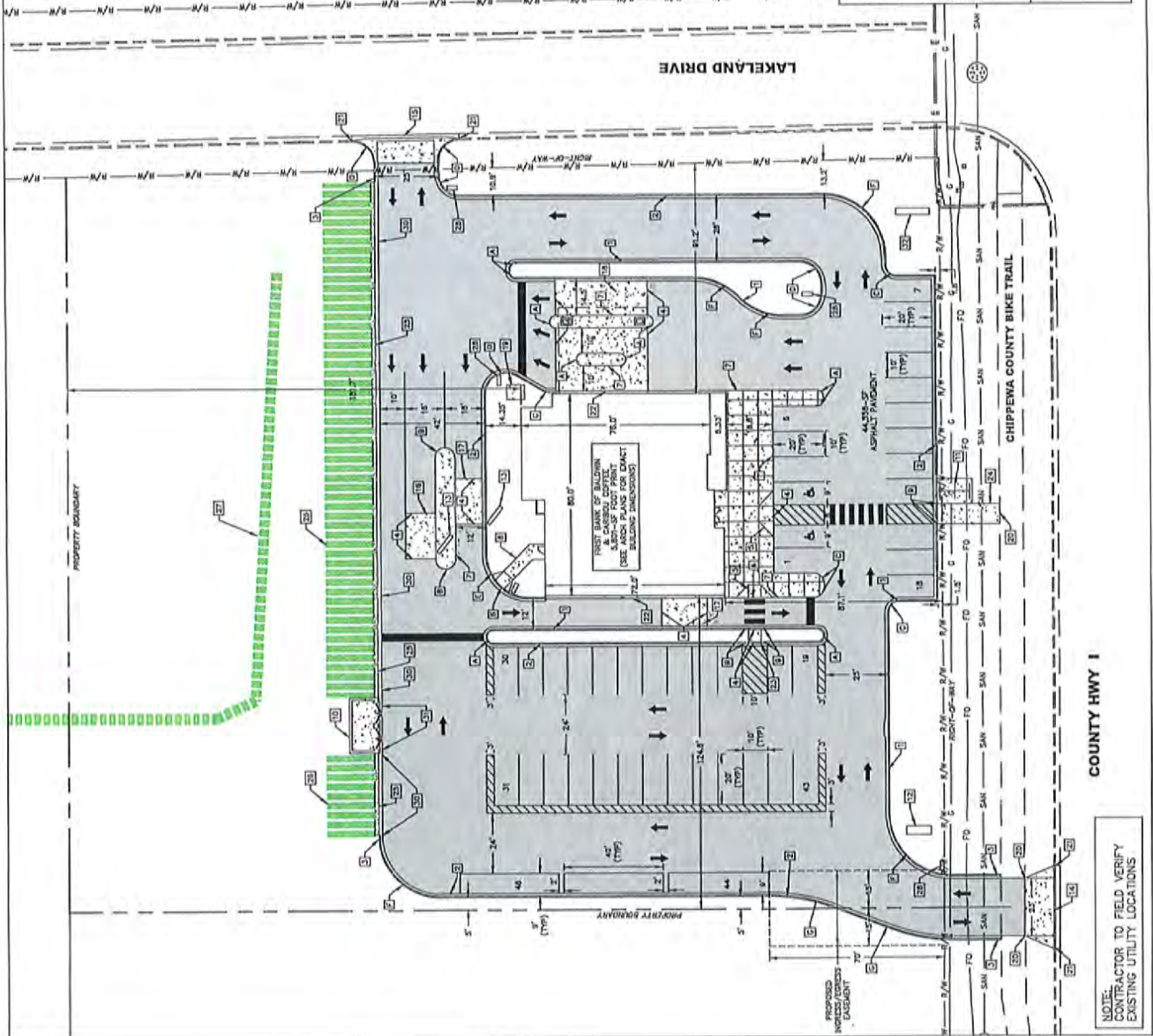
CONCRETE PAVEMENT SECTION

4" C.A.B.C. (1-1/4")	
6" C.A.B.C. (1-1/4")	

CONCRETE PAVEMENT SECTION

SUBGRADE PREP. PER REPORT. S.A.S.
 MEET PAVEMENT TO SUBGRADE. SEE GEOTECHNICAL ENGINEERING REPORT # 2022004 PAVEMENT DESIGN FOR SUBGRADE PREP. FOR AGRICULTURAL FIELD-CRACK CALCULATIONS ONLY.

NOTE:
 CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS.





WWW.HTG-ARCHITECTS.COM
 Minneapolis
 5300 Hennepin Town Road
 Minneapolis, MN 55347
 Tel: 952.278.8800
 Fax: 952.278.8822

PROJECT

CHIPPewa
 FINANCIAL
 AND COFFEE

LOT 6 BLOCK 3
 LAKE WISSOTA
 BUSINESS PARK

ISSUED SET	REVISIONS	DATE	NO.



ADVANCED ENGINEERING CONSULTANTS
 1300 EAST LARUE, W. SAUTER
 PH: 763-582-0300
 FAX: 763-582-0300
 COPYRIGHT 2012 AEC, LLC

UTILITY PLAN

DATE: 11/13/12

C600

AEC PROJECT #2012
 COPYRIGHT © BY HTG
 ARCHITECTS



811
 Know what's below.
 Call before you dig.

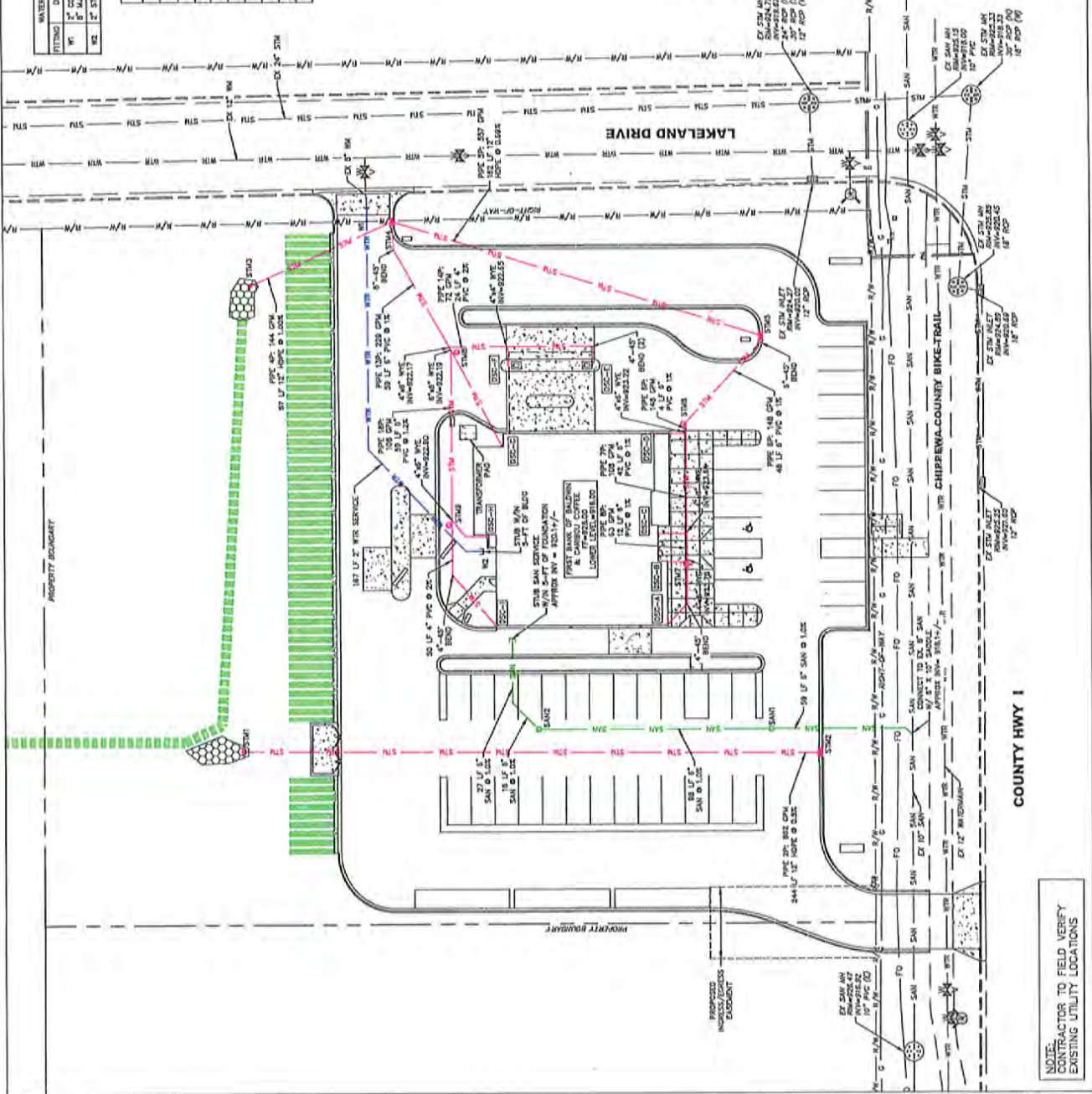
WATERMAIN TABLE	
FITTING	DETAIL / DESCRIPTION
WT	3" CORR TO/AVTD
WT	8" AM PLUG
WT	12" 303B

ID	INVERT	PIPE DIA.	DRINK AREA	10-FT DPM
DSC-A	924.00	30" LF 4" 50008 PVC @ 2.00%	554-SF	27
DSC-B	923.00	8" LF 4" 50008 PVC @ 2.00%	65A-SF	36
DSC-C	923.00	15" LF 4" 50008 PVC @ 2.00%	65B-SF	40
DSC-D	924.00	14" LF 4" 50008 PVC @ 2.00%	78B-SF	43
DSC-E	924.00	44" LF 4" 50008 PVC @ 2.00%	88C-SF	28
DSC-F	924.00	8" LF 4" 50008 PVC @ 2.00%	85D-SF	36
DSC-G	924.00	42" LF 4" 50008 PVC @ 2.00%	93D-SF	48
DSC-H	924.00	18" LF 4" 50008 PVC @ 2.00%	100T-SF	47
DSC-I	924.00	30" LF 4" 50008 PVC @ 2.00%	75D-SF	40

SANITARY SEWER TABLE			
STRUCTURE	INVERT	PIPE DIA.	DIRECTION
STW1	924.00	18" F.F.S.	---
STW2	924.00	18" F.F.S.	---
STW3	924.00	18" F.F.S.	---
STW4	924.00	18" F.F.S.	---
STW5	924.00	18" F.F.S.	---
STW6	924.00	18" F.F.S.	---
STW7	924.00	18" F.F.S.	---
STW8	924.00	18" F.F.S.	---
STW9	924.00	18" F.F.S.	---

STRUCTURE NO.	LOCAL INVERT	PIPE DIA.	DIRECTION	PIPE DIA.
STW1	924.00	18"	---	18" F.F.S.
STW2	924.00	18"	---	18" F.F.S.
STW3	924.00	18"	---	18" F.F.S.
STW4	924.00	18"	---	18" F.F.S.
STW5	924.00	18"	---	18" F.F.S.
STW6	924.00	18"	---	18" F.F.S.
STW7	924.00	18"	---	18" F.F.S.
STW8	924.00	18"	---	18" F.F.S.
STW9	924.00	18"	---	18" F.F.S.

- UTILITY NOTES:
- STORM AND SANITARY PIPE LENGTHS ARE TO CENTER OF MANHOLE CONTRACTOR TO VERIFY ACTUAL LENGTH REQUIRED.
 - MANHOLES ARE 48" UNLESS OTHERWISE NOTED.
 - ALL LENGTHS OF PIPE INCLUDE PLANS AND SECTION (F.E.S.S.) CONTRACTOR WILL ONLY BE PAID FOR L.S. OF PIPE, NOT INCLUDING LENGTH OF F.E.S.
 - MAINTAIN A MINIMUM 2'-0" WATERMAIN COVER. MIN. WATERMAIN MUST BE INSTALLED UNDER 2'-0" MINIMUM COVER. CONTRACTOR SHALL VERIFY EXISTING UTILITY INSTALLATION. CONTRACT CITY INSPECTORS AT LEAST 72 HOURS PRIOR TO START OF UTILITY CONSTRUCTION TO THAT INSPECTION CAN BE SCHEDULED.
 - 1" CLEARANCE WITHIN WATER MAIN PROCESS UNLESS OTHERWISE NOTED. WATERMAIN OR STORM SEWER.
 - UPON COMPLETION OF STORM SEWER INSTALLATION, STORM SEWER INLETS SHALL BE PROTECTED FROM SOILMENT BY 18" DIA. CONCRETE BELL AND HOUSING. MANHOLES SHALL BE PAVED AND ALL WORK PAVED AREAS SHALL BE VEGETATION ESTABLISHED. CONTRACTOR MUST PROTECT THE SANITARY LATERAL FROM ANY SAW, ROAD, ETC. ENTERING THE PIPE DURING CONSTRUCTION.
 - SANITARY SEWER LATERALS SHALL HAVE MINIMUM SLOPE OF 1/8" PER FOOT FOR ALL 8-INCH PIPE (TYP. 0.0015).
 - CONTRACTOR SHALL VERIFY THE TOTAL DRAINAGE FUTURE UNITS (DFU) AND PIPE SIZES WITH THE PLUMBING PLANS.
 - SANITARY SEWER SERVICE SHALL BE PVC (SOR 30).
 - WATER SERVICE SHALL BE 8" I.D. HOPE OR APPROVED EQUAL.
 - STORM SEWER SHALL BE 18" I.D. W-8 PIPE OR FRISCO DOWLED WT 80 50008 PVC OR APPROVED EQUAL.
 - THE PIPE DIAMETERS LISTED ARE THE NOMINAL PIPE DIAMETER.
 - THE VERTICAL DOWN SPOUT CONNECTIONS ARE TO BE 6" SCHED PVC.
 - SMALL SERVICE PIPE LOCATIONS IS REFERENCED FROM THE DOWN STREAM MANHOLE.

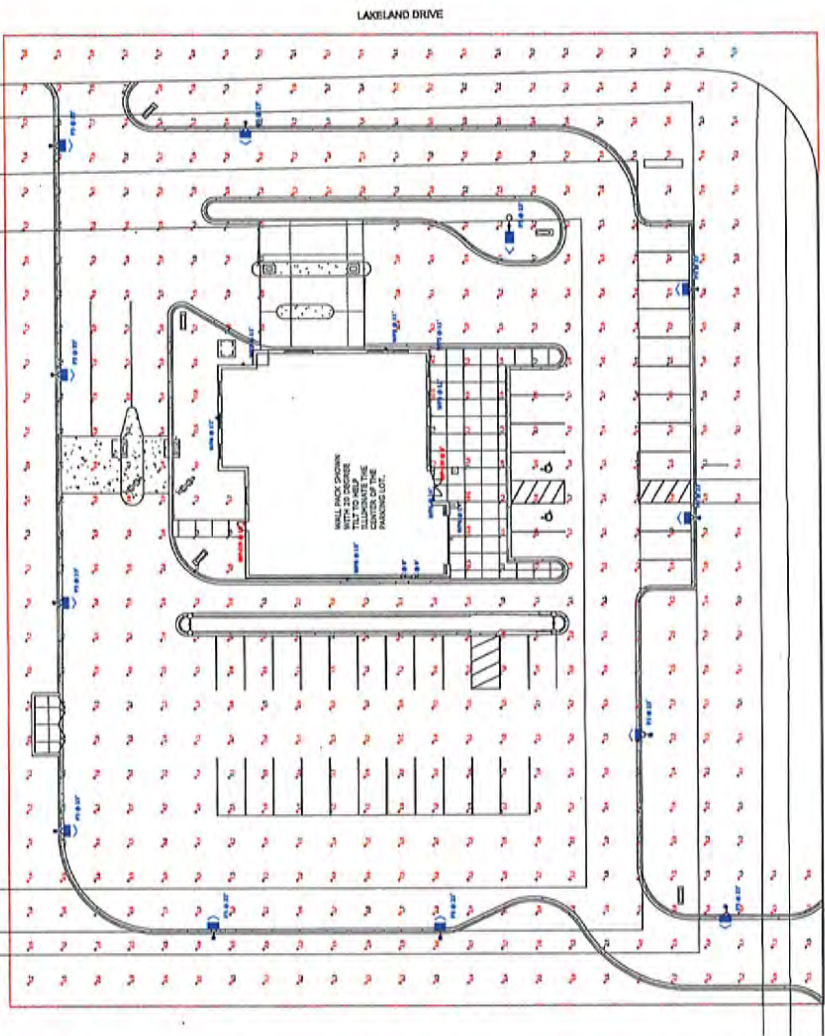


NOTE:
 CONTRACTOR TO FIELD VERIFY
 EXISTING UTILITY LOCATIONS

NOTES:
1. BULK CONNECTOR CHASIS LIGHTING SHOWN ON SEPARATE PLAN.

QUANTITY	DESCRIPTION	UNIT	AMOUNT
1	100' LED IN ROW LED	LINEAL FT.	100
1	100' LED IN ROW LED	LINEAL FT.	100

SYMBOL	QTY	DESCRIPTION	UNIT	AMOUNT	PERCENT
PS	11	100' LED IN ROW LED	LINEAL FT.	100	100%
WPS	4	100' LED IN ROW LED	LINEAL FT.	400	100%
WPS-EM	3	100' LED IN ROW LED	LINEAL FT.	300	100%
WPS	4	100' LED IN ROW LED	LINEAL FT.	400	100%
C	2	100' LED IN ROW LED	LINEAL FT.	200	100%
PS	1	100' LED IN ROW LED	LINEAL FT.	100	100%



COUNTY ROAD I
200' SIDE
100' SIDE



www.htg-architects.com
Minneapolis, MN

1010 Lakeside, Suite 100
Hopkins, MN 55343
Tel: 952.278.8880

PROJECT

CHIPPEWA
FINANCIAL &
COFFEE



Lake Wissota
Business Park
Lot #6
Chippewa Falls, WI

REVISIONS: 1/15/2022
DATE: 1/15/2022
NO. DATE

I hereby certify that this plan, specification, report, or other document was prepared by me or under the direct supervision and that I am a duly Licensed Professional Engineer in the State of Wisconsin.

SRATYA FABIAN
30322
1/15/2022
Date



SITE & SIGNAGE
DETAILS

Sheet #1 of 1
Checked By: JG

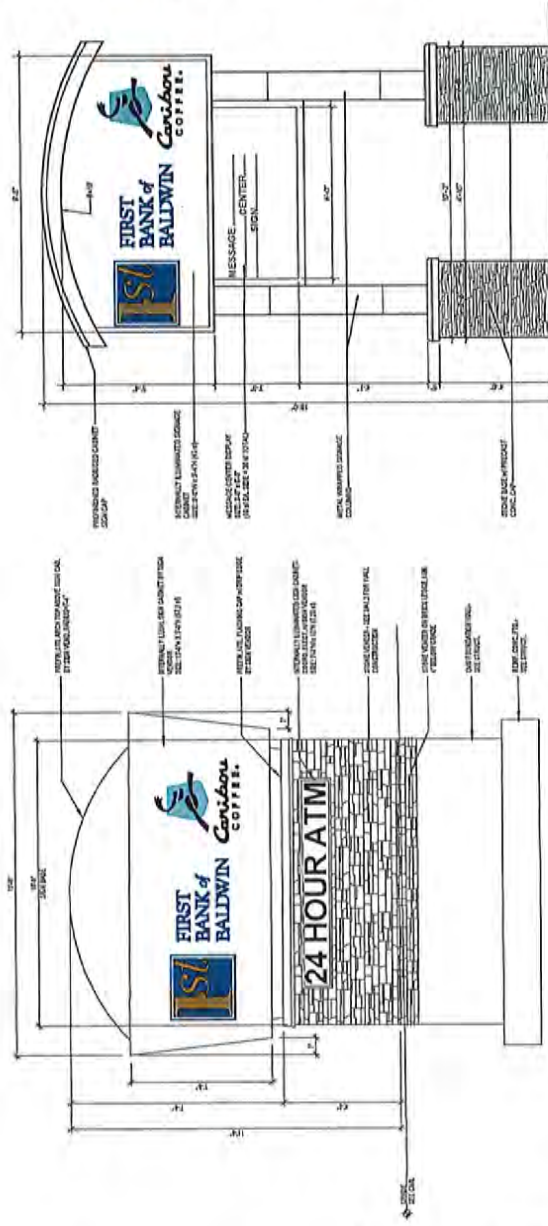
A1.2

2/1/15
COPYRIGHT © HTG ARCHITECTS

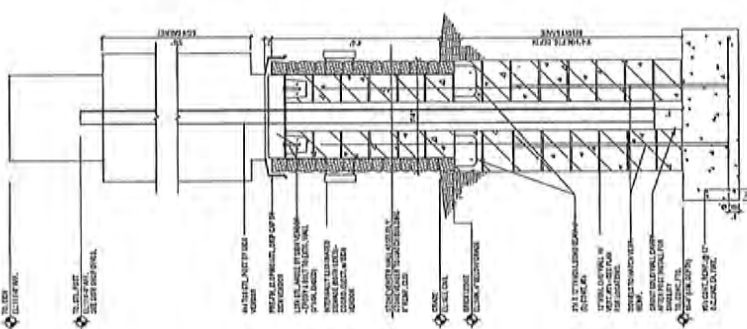
ALL SIGNAGE SHOWN FOR DIMENSION AND
SCALE. SIGNAGE DIMENSIONS AND PERMITTING FOR ALL
EXTERIOR PRODUCT SIGNAGE



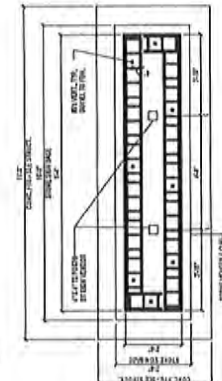
A1.1 ELEVATIONS & DIRECTIONAL SIGNAGE
1/15' x 10' x 10'



A1.2 MONUMENT SIGN ELEVATION
1/15' x 10' x 10'



A1.3 MONUMENT SIGN SECTION
3/4" x 15' x 15'



A1.4 MONUMENT SIGN PLAN
1/15' x 10' x 10'

PROJECT

CHIPPEWA
FINANCIAL &
COFFEE



Lake Wissota
Business Park

Lot "G"
Chippewa Falls, WI

REVISIONS

NO.	DATE	BY	REVISIONS
1	01/26/2012		ISSUE FOR SET



STEVEN RABIN
Professional Engineer
No. 37176
Date: 3/1/12

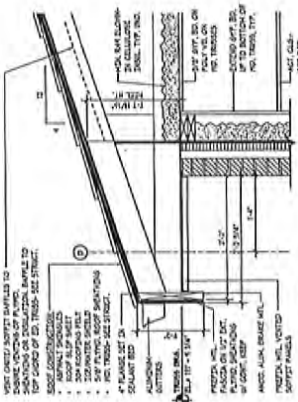
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A1.3

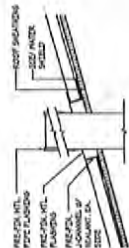
11/11/11
COPYRIGHT © HTG ARCHITECTS

- ROOF GENERAL NOTES:**
1. REFER TO ARCHITECT'S DRAWINGS FOR ALL MATERIALS, FINISHES AND SPECIFICATIONS. VERIFY ALL ROOF PENETRATIONS AND FLASHINGS ARE CORRECTLY DETAILLED AND SHOWN ON THE ROOF PLAN. ALL ROOF PENETRATIONS AND FLASHINGS SHALL BE AS SHOWN ON THE ROOF PLAN UNLESS OTHERWISE NOTED. ALL ROOF PENETRATIONS SHALL BE AS SHOWN ON THE ROOF PLAN UNLESS OTHERWISE NOTED. ALL ROOF PENETRATIONS SHALL BE AS SHOWN ON THE ROOF PLAN UNLESS OTHERWISE NOTED.
 2. LOCATIONS OF ALL ROOF PENETRATIONS TO BE IDENTIFIED BY APPROPRIATE DIMENSIONS.
 3. FLASHINGS SHALL BE IDENTIFIED BY THE ARCHITECT.
 4. MATERIALS SHALL BE IDENTIFIED BY THE ARCHITECT.
 5. MATERIALS SHALL BE IDENTIFIED BY THE ARCHITECT.
 6. MATERIALS SHALL BE IDENTIFIED BY THE ARCHITECT.
 7. MATERIALS SHALL BE IDENTIFIED BY THE ARCHITECT.
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 9. MATERIALS SHALL BE IDENTIFIED BY THE ARCHITECT.
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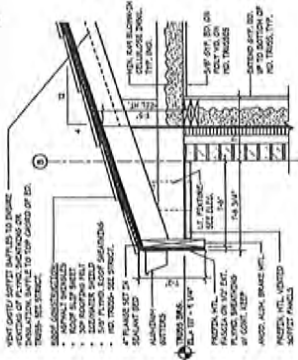
- GENERAL NOTES:**
1. REFER TO ARCHITECT'S DRAWINGS FOR ALL MATERIALS, FINISHES AND SPECIFICATIONS.
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 7. REFER TO ARCHITECT'S DRAWINGS FOR ALL MATERIALS, FINISHES AND SPECIFICATIONS.
 8. REFER TO ARCHITECT'S DRAWINGS FOR ALL MATERIALS, FINISHES AND SPECIFICATIONS.
 9. REFER TO ARCHITECT'S DRAWINGS FOR ALL MATERIALS, FINISHES AND SPECIFICATIONS.
 10. REFER TO ARCHITECT'S DRAWINGS FOR ALL MATERIALS, FINISHES AND SPECIFICATIONS.



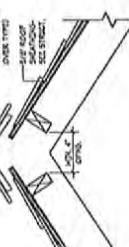
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1/2" x 1/2"



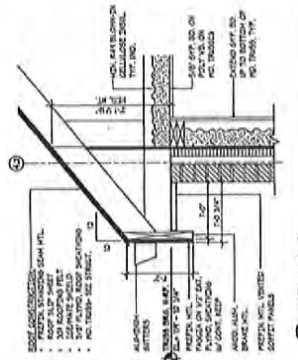
2. ROOF PENETRATION DETAIL
1/2" x 1/2"



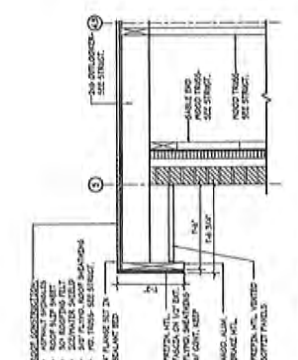
3. ROOF EDGE DETAIL
1/2" x 1/2"



4. ROOF VALLEY DETAIL
1/2" x 1/2"



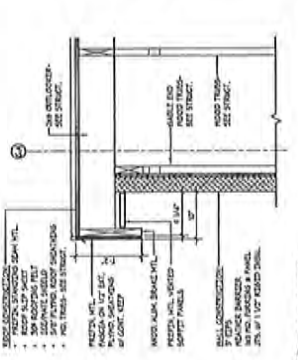
5. ROOF VENT DETAIL
1/2" x 1/2"



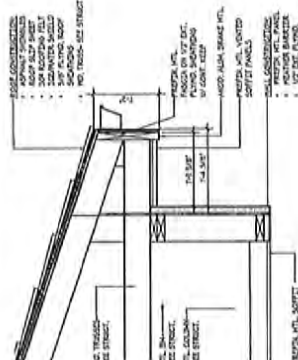
6. ROOF EDGE DETAIL
1/2" x 1/2"



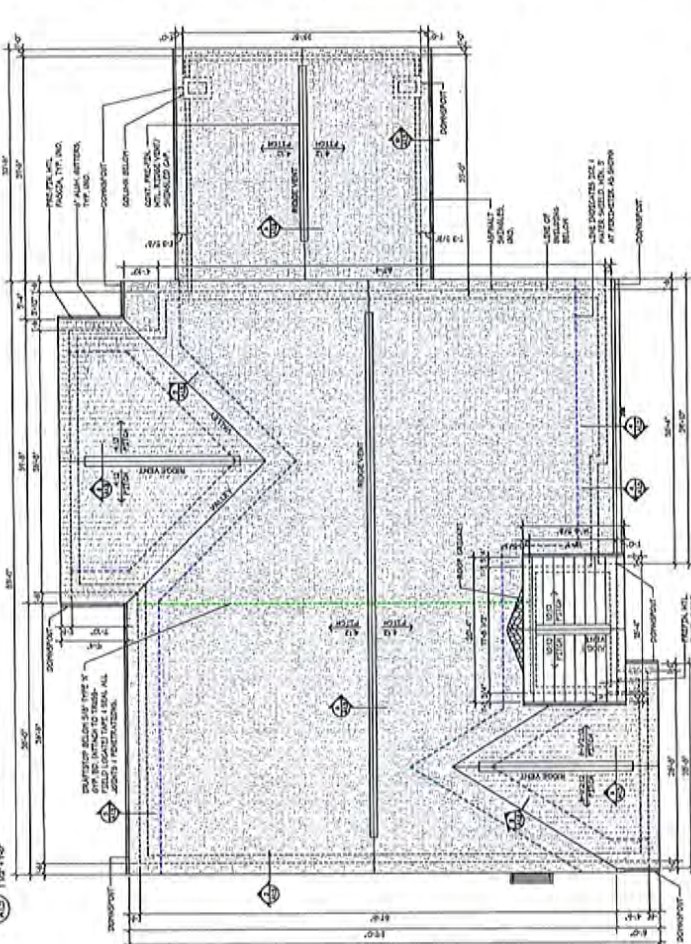
7. ROOF VALLEY DETAIL
1/2" x 1/2"



8. ROOF EDGE DETAIL
1/2" x 1/2"



9. ROOF EDGE DETAIL
1/2" x 1/2"



10. ROOF PLAN
1/2" x 1/2"

PROJECT

CHIPPEWA
 FINANCIAL &
 COFFEE



Lake Wissota
 Business Park

Lot "6"

Chippewa Falls, WI

BLD PERMIT SET 3/15/2013

REVISIONS

DATE NO

SEAN C. PARSON
 ARCHITECT
 315/2003
 DATE



FLOOR PLANS

GENERAL NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2012 INTERNATIONAL MECHANICAL CODE (IMC).
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2012 INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPC).
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2012 INTERNATIONAL ELECTRICAL CODE (NEC).
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2012 INTERNATIONAL FIRE AND ALARM CODE (IFAC).
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC).
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2012 INTERNATIONAL SMOKE-ALARM CODE (ISAC).
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2012 INTERNATIONAL SAFETY CODE (IFSC).
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2012 INTERNATIONAL HEALTH CARE FACILITY CONSTRUCTION CODE (HCFCC).
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2012 INTERNATIONAL GREEN BUILDING CONSTRUCTION CODE (IGBC).
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2012 INTERNATIONAL WELL-BEING CONSTRUCTION CODE (IWCC).
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2012 INTERNATIONAL WELLNESS CONSTRUCTION CODE (IWCC).
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- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2012 INTERNATIONAL WELLNESS CONSTRUCTION CODE (IWCC).

BLANK EQUIPMENT MOUNTING LIST

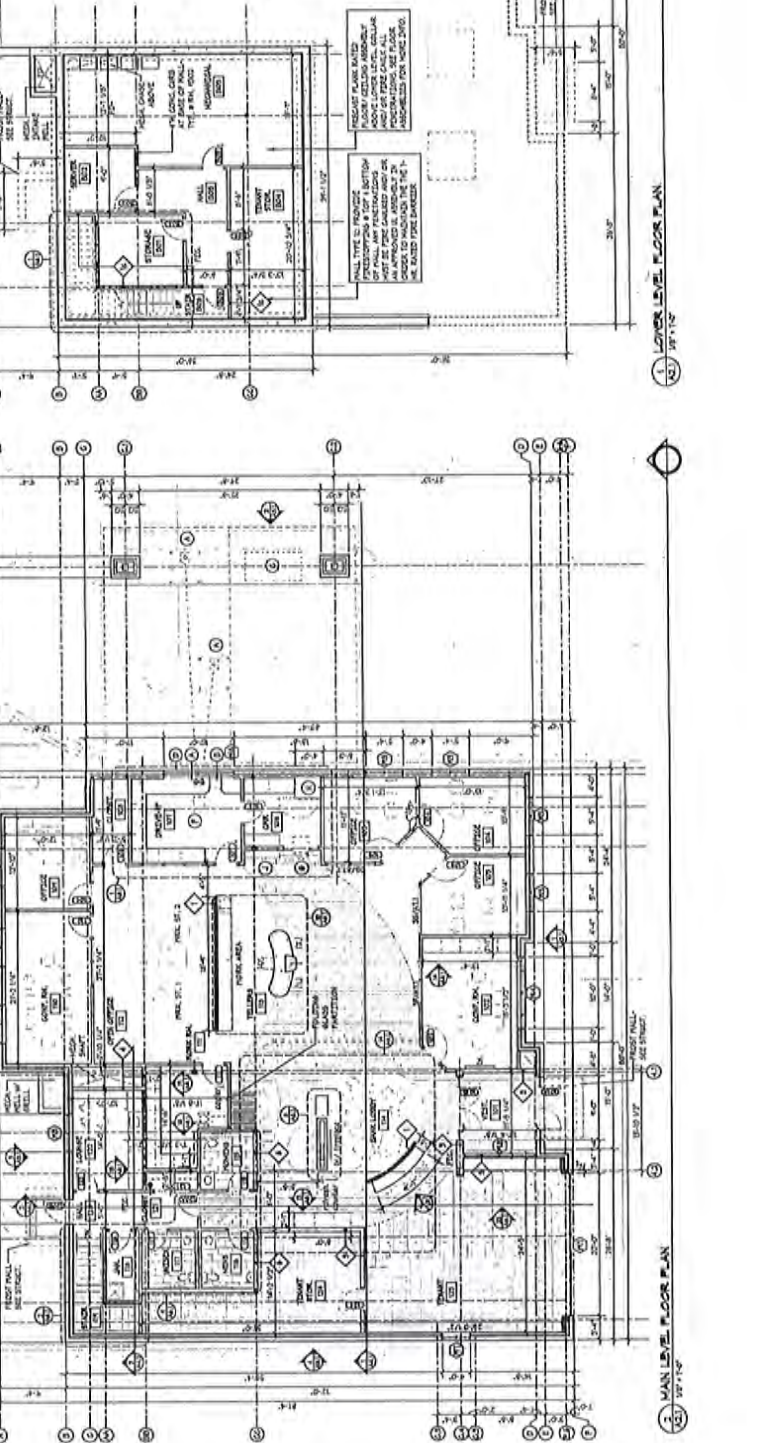
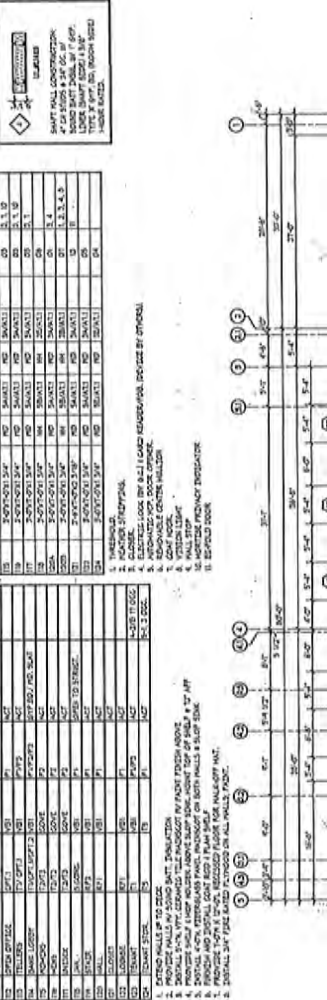
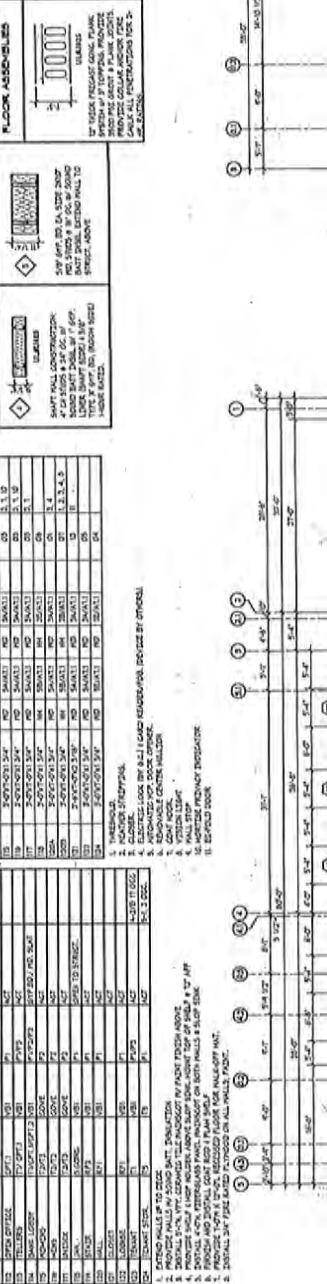
1	REFRIGERATOR
2	DISHWASHER
3	SINK
4	RANGE
5	STOVE
6	MICROWAVE
7	TOASTER
8	COFFEE MAKER
9	JUICER
10	BLENDER
11	TOASTER OVEN
12	GRILL
13	OVEN
14	HOT WATER HEATER
15	WATER HEATER
16	BOILER
17	HEATING UNIT
18	AIR HANDLER
19	VENTILATION UNIT
20	DUCTWORK
21	CHIMNEY
22	FLUE VENT
23	EXHAUST FAN
24	MECHANICAL ROOM
25	UTILITY ROOM
26	STORAGE ROOM
27	REPAIR ROOM
28	LAUNDRY ROOM
29	BATH
30	TOILET
31	SHOWER
32	VAPOR BARRIER
33	INSULATION
34	ROOFING
35	FOUNDATION
36	CONCRETE
37	BRICK
38	BLOCK
39	STONE
40	WOOD
41	GLASS
42	ALUMINUM
43	STEEL
44	COPPER
45	ZINC
46	NICKEL
47	BRASS
48	SILVER
49	GOLD
50	PLATINUM
51	PALLADIUM
52	RHODIUM
53	IRIDIUM
54	OSMIUM
55	COBALT
56	NICKEL
57	COPPER
58	ZINC
59	BRASS
60	STEEL
61	ALUMINUM
62	GLASS
63	CONCRETE
64	BRICK
65	BLOCK
66	STONE
67	WOOD
68	GLASS
69	ALUMINUM
70	STEEL
71	COPPER
72	ZINC
73	BRASS
74	STEEL
75	ALUMINUM
76	GLASS
77	CONCRETE
78	BRICK
79	BLOCK
80	STONE
81	WOOD
82	GLASS
83	ALUMINUM
84	STEEL
85	COPPER
86	ZINC
87	BRASS
88	STEEL
89	ALUMINUM
90	GLASS
91	CONCRETE
92	BRICK
93	BLOCK
94	STONE
95	WOOD
96	GLASS
97	ALUMINUM
98	STEEL
99	COPPER
100	ZINC

DOOR SCHEDULE

DOOR NO.	DOOR TYPE	FRAME	HATCH	TYPE	FACE	FINISH	NOTES
1	SWING	WOOD	WOOD	WOOD	WOOD	WOOD	1"
2	SLIDING	WOOD	WOOD	WOOD	WOOD	WOOD	1"
3	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
4	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
5	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
6	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
7	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
8	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
9	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
10	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
11	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
12	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
13	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
14	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
15	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
16	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
17	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
18	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
19	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
20	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
21	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
22	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
23	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
24	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
25	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
26	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
27	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
28	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
29	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"
30	GLASS	WOOD	WOOD	WOOD	WOOD	WOOD	1"

FLOOR FINISH SCHEDULE

NO.	NAME	FINISH	DETAIL	FINISH	NOTES
1	CERAMIC	WOOD	WOOD	WOOD	1"
2	CERAMIC	WOOD	WOOD	WOOD	1"
3	CERAMIC	WOOD	WOOD	WOOD	1"
4	CERAMIC	WOOD	WOOD	WOOD	1"
5	CERAMIC	WOOD	WOOD	WOOD	1"
6	CERAMIC	WOOD	WOOD	WOOD	1"
7	CERAMIC	WOOD	WOOD	WOOD	1"
8	CERAMIC	WOOD	WOOD	WOOD	1"
9	CERAMIC	WOOD	WOOD	WOOD	1"
10	CERAMIC	WOOD	WOOD	WOOD	1"
11	CERAMIC	WOOD	WOOD	WOOD	1"
12	CERAMIC	WOOD	WOOD	WOOD	1"
13	CERAMIC	WOOD	WOOD	WOOD	1"
14	CERAMIC	WOOD	WOOD	WOOD	1"
15	CERAMIC	WOOD	WOOD	WOOD	1"
16	CERAMIC	WOOD	WOOD	WOOD	1"
17	CERAMIC	WOOD	WOOD	WOOD	1"
18	CERAMIC	WOOD	WOOD	WOOD	1"
19	CERAMIC	WOOD	WOOD	WOOD	1"
20	CERAMIC	WOOD	WOOD	WOOD	1"
21	CERAMIC	WOOD	WOOD	WOOD	1"
22	CERAMIC	WOOD	WOOD	WOOD	1"
23	CERAMIC	WOOD	WOOD	WOOD	1"
24	CERAMIC	WOOD	WOOD	WOOD	1"
25	CERAMIC	WOOD	WOOD	WOOD	1"
26	CERAMIC	WOOD	WOOD	WOOD	1"
27	CERAMIC	WOOD	WOOD	WOOD	1"
28	CERAMIC	WOOD	WOOD	WOOD	1"
29	CERAMIC	WOOD	WOOD	WOOD	1"
30	CERAMIC	WOOD	WOOD	WOOD	1"



1 MAIN LEVEL FLOOR PLAN
 2 LOWER LEVEL FLOOR PLAN

1 LOWER LEVEL FLOOR PLAN

PROJECT

**CHIPPEWA
 FINANCIAL &
 COFFEE**



Lake Wisconsin
 Business Park
 Lot "6"

Chippewa Falls, WI

ISSUED SET 3/11/2023

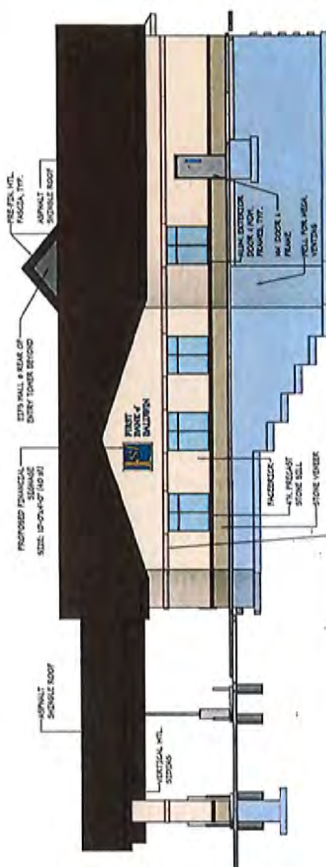
REVISIONS

DATE NO

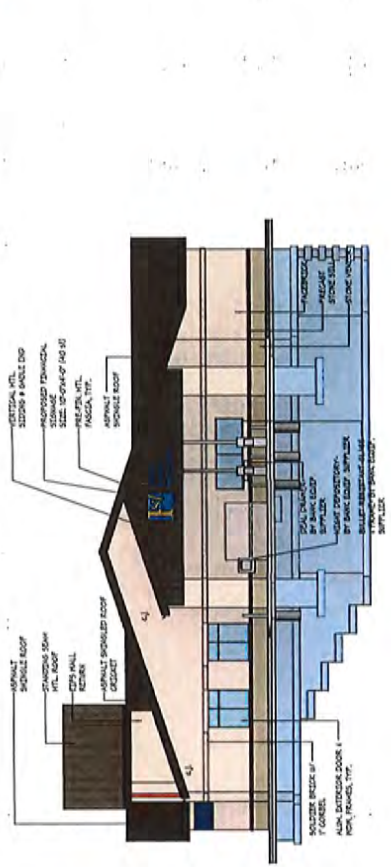
DATE	NO

I hereby certify that this plan, specification or contract document was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Wisconsin.

SEAN C. FABOIN
 REG. NO. 31710023
 DATE



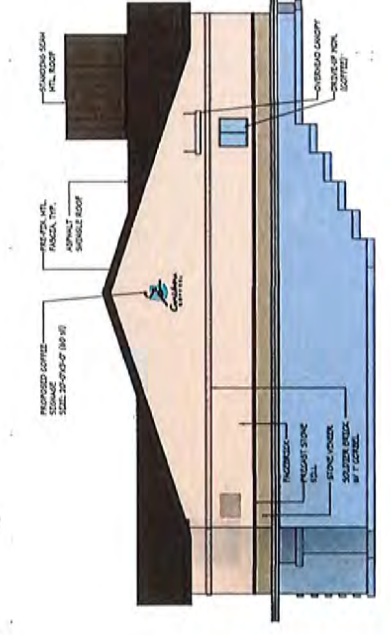
A.23 NORTH EXTERIOR ELEVATION - DESIGN
 1/4" = 1'-0"



A.23 NORTH EXTERIOR ELEVATION - DESIGN
 1/4" = 1'-0"



A.23 WEST EXTERIOR ELEVATION - DESIGN
 1/4" = 1'-0"



A.23 EAST EXTERIOR ELEVATION - DESIGN
 1/4" = 1'-0"

**EXTERIOR ELEVATIONS
 - DESIGN**

Drawn By: EP Checked By: JAL



www.htg-architects.com
Bismarck

1010 Main Street, Suite 100
Hopkins, MN 55343
Tel: 953.778.8880

PROJECT

**CHIPPEWA
FINANCIAL &
COFFEE**



**Lake Wissota
Business Park
Lot "6"**

Chippewa Falls, WI
BID PERMIT SET 3/15/2022

REVISIONS	DATE	NO.

I hereby certify that the plans, specifications or other documents submitted to the City of Chippewa Falls, Wisconsin, and that I am a duly licensed architect under the laws of the State of Wisconsin.

SERVY C. RABOIN 3/15/2022
Arch. No. _____ Date
Prof. No. _____

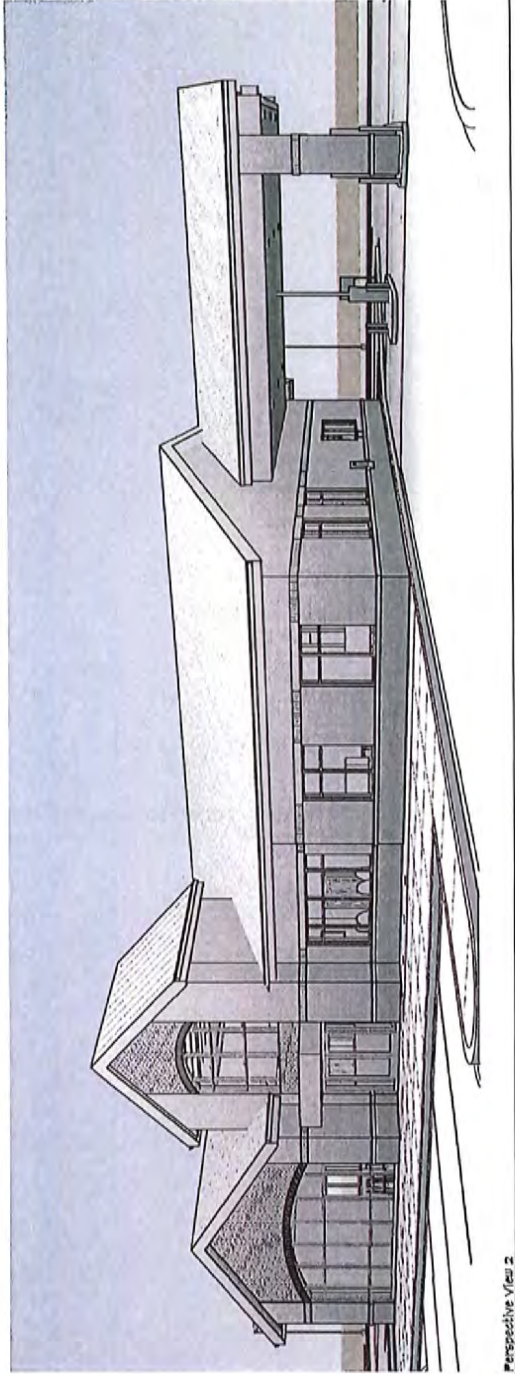


3D RENDERINGS

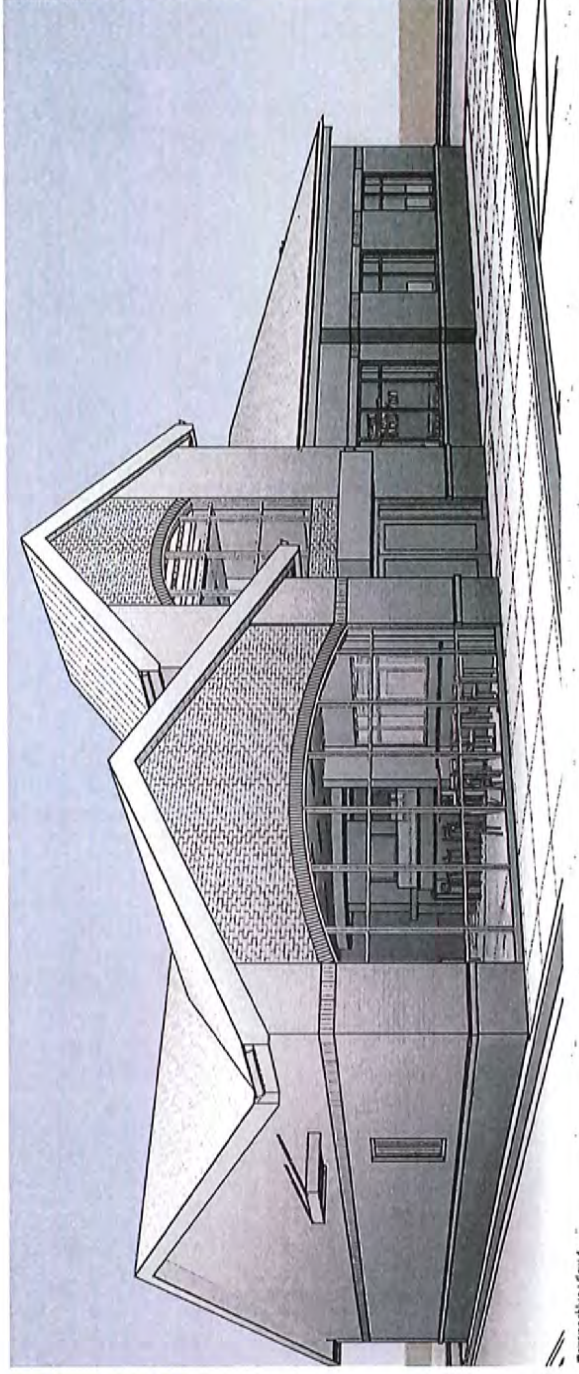
Drawn by: jash/ Chenxiyu Chen

A3.3

2/11/23
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Perspective View 2



Perspective View 1

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1070 Main Street, Suite 100
Hopkins, MN 55343
Tel: 952.278.6880

PROJECT

CHIPPEWA
FINANCIAL &
COFFEE



Lake Wissota
Business Park
Lot #6

Chippewa Falls, WI

BD PERMIT SET 3/15/2002
SCHEDULED 3/15/2002

DATE NO

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed and active member of the State of Minnesota

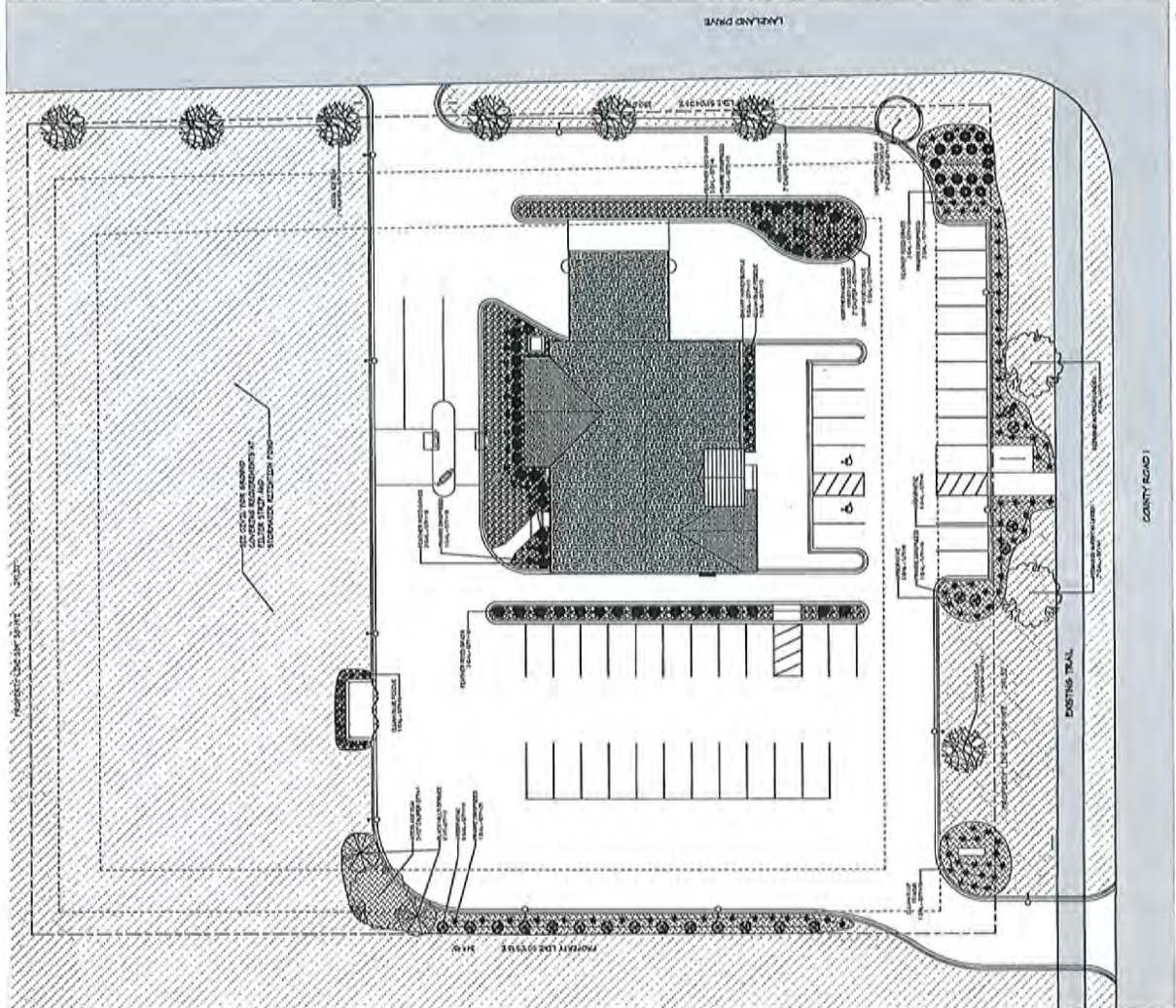
SEWY C. RABOIN
3/8/02
3/15/2002
2288



PRELIMINARY
LANDSCAPE PLANTING
PLAN

Sheet No: T.P.
Checked by: J.L.

L1
3/15/02
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LANDSCAPE GENERAL NOTES:

1. ALL PLANTINGS TO BE SPECIFIED MUST BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS OF THE LANDSCAPE CONTRACTOR.
2. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL PLANTINGS AND MATERIALS TO BE USED.
3. PLANTING MATERIALS AND SPECIFICATIONS SHALL BE SUBJECT TO APPROVAL BY THE ARCHITECT AND THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL PLANTINGS AND MATERIALS TO BE USED.
4. IF SPECIFIED MATERIALS ARE NOT OBTAINABLE, NOTIFY ARCHITECT IMMEDIATELY.
5. ALL PLANTING MATERIALS SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR.
6. LANDSCAPE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND SERVICES AT ALL TIMES.
7. PROTECT ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES.
8. ALL MATERIALS SHALL BE STORED IN A PROTECTED AREA AND SHALL BE PROTECTED FROM ALL WEATHER AND OTHER DAMAGE.
9. ALL LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL PLANTINGS AND MATERIALS TO BE USED.
10. ALL LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL PLANTINGS AND MATERIALS TO BE USED.
11. ALL LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL PLANTINGS AND MATERIALS TO BE USED.
12. ALL LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL PLANTINGS AND MATERIALS TO BE USED.
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