

NOTICE OF PUBLIC MEETING

CITY OF CHIPPEWA FALLS, WISCONSIN

IN ACCORDANCE with the provisions of Chapter 19, Subchapter IV of the Statutes of the State of Wisconsin, notice is hereby given that a public meeting of the:

Plan Commission XXX

(Reasonable accommodations for participation by individuals with disabilities will be made upon request. Please call 726-2736)

Will be held on **Monday, April 11, 2022 at 6:30 P.M.** in the City Hall **Council Chambers**, Chippewa Falls, Wisconsin. Items of business to be discussed or acted upon at this meeting are shown on the attached Agenda or listed below:

NOTE: If unable to attend the meeting, please notify the Engineering Dept. by calling 726-2736.

1. Approve the minutes of the March 7, 2022 Plan Commission Meeting. *(Attachment)*
2. Conduct a Public Hearing to consider Chippewa Falls Plan Commission Conditional Use Permit Resolution No. 2022-04 allowing the Boys and Girls Club of the Greater Chippewa Valley – Chippewa Falls Center to operate a boys and girls club including expanded use and renovation on parcel #22909-3644-07000000 in the SE ¼ of the SE ¼, Section 36, T29N, R9W, located at 650 Bridgewater Avenue in the City of Chippewa Falls. *(Attachment)*
3. Consider Chippewa Falls Plan Commission Conditional Use Permit Resolution No. 2022-04 allowing the Boys and Girls Club of the Greater Chippewa Valley – Chippewa Falls Center to operate a boys and girls club including expanded use and renovation on parcel #22909-3644-07000000 in the SE ¼ of the SE ¼, Section 36, T29N, R9W, located at 650 Bridgewater Avenue in the City of Chippewa Falls. *(Attachment)*
4. Consider Final Plat of Park West II submitted by Real Land Surveying on behalf of Rooney Properties Wisconsin. Make recommendation to the Common Council. *(Attachment)*
5. Consider incorporation of City of Chippewa Falls Twin Home Construction Requirements and Standards into the Chippewa Falls Municipal Code Chapter 17. Make recommendation to the Common Council. *(Attachment)*
6. Consider Certified Survey Map along the south side of Chippewa Crossing Boulevard submitted by Professional Land Surveyor Eric Sturm on behalf of Wangard Partners. Make recommendation to the Common Council. *(Attachment)*
7. Consider Conditional Use Permit Application from Southside Holdings LLC for a zero front yard setback for parking and a shared driveway for a two-tenant building on Lot 6, Block 3, Lake Wissota Business Park First Addition in the City Chippewa Falls, Chippewa County Wisconsin. *(Attachment)*
8. Adjournment

NOTICE IS HEREBY GIVEN THAT A MAJORITY OF THE CITY COUNCIL MAY BE PRESENT AT THIS MEETING TO GATHER INFORMATION ABOUT A SUBJECT OVER WHICH THEY HAVE DECISION MAKING RESPONSIBILITY.

Please note that attachments to this agenda may not be final and are subject to change.
This agenda may be amended as it is reviewed.

CERTIFICATION

I hereby certify that a copy of this agenda was placed in the Chippewa Herald mail box, 1st Floor, City Hall and also posted on the City Hall Bulletin Board on Tuesday, April 5, 2022 at 2:00 P.M. by Mary Bowe.

**MINUTES OF THE PLAN COMMISSION MEETING
CITY OF CHIPPEWA FALLS
MONDAY, MARCH 7, 2022 – 6:30 PM**

The Plan Commission met in City Hall on Monday, March 7, 2022 at 6:30 P.M.

Attending were Commissioners Dave Cihasky, Greg Misfeldt, Mike Tzanakis, Dan Varga, Beth Arneberg, Jerry Smith, Alderperson Jason Hiess, Secretary Rick Rubenzer and Vice-Chairperson Tom Hubbard. Mayor Greg Hoffman and Commissioner Dennis Doughty were absent. Also attending were City Planner Brad Hentschel, Assistant City Engineer Bill McElroy and those on the attached attendance sheets. Jim Rooney attended remotely via Webex.

1. **Motion** by Tzanakis, seconded by Varga to approve the minutes of the February 7, 2022 Plan Commission meeting. **All present voting aye. Motion carried.**

2. **Motion** by Smith, seconded by Hiess to approve the minutes of the February 14, 2022 Plan Commission meeting. **All present voting aye. Motion carried**

3. Sean Bohan of Advanced Engineering Concepts appeared and presented Planned Development Conditional Use Permit Resolution No. 2022-02. Mr. Bohan stated that Planned Development Conditional Use Permit Resolution No. 2021-03 had been approved in 2021 which allowed eight unit and 12 unit apartments in Park West and single family west of and adjacent to Jake Place. He noted that the development was consistent with the original preliminary concepts approved in 2007 with Planned Development Conditional Use Permit Resolution No. 2007-03. He detailed the proposed new conditions of the two twenty-four unit apartments on 5.13 acres of recently purchased former right-of-way and replacing twelve single family lots with twelve twin homes (24 units). He continued that pedestrian walks would serve the twenty-four unit apartments and connect to an existing crosswalk at Elm Street and Hilary Street and also connect to the Willow Creek subdivision north of Bridgewater Avenue. He stated tot lots had been added near the twenty-four unit apartments and a club house had also been added. Single family lots adjacent and west of Jake Place would remain as originally proposed while twin homes would replace proposed single family on the west side of the new proposed street. Commissioner Cihasky had concerns about future proposals to replace single family lots with twin homes. Mr. Bohan continued that stormwater facilities were already in place and that storm runoff rates were significantly reduced from pre-development conditions. After conferring with Chippewa County about the Park West southern access onto County N, a traffic impact analysis would now be done. The Drake Drive connection between Bridgewater Avenue and County N will be completed before any additional building permits are issued. He continued that property density had increased from 4.98 units/acre to 5.67 units/acre. Units had been added but so had acreage. This was similar to the originally approved concept in 2007. The overall development estimates 185 additional children including 134 school age children. The development will occur over a number of years. The market would determine when the twenty-four unit apartments would be constructed. Alderperson Hiess requested additional details about the pedestrian walkway along Elm Street. Would it be attached to the County N/Elm Street shoulder or stand alone? Hiess asked why the twin home change? Mr. Bohan answered that buying both sides of twin homes normally doesn't cash flow. The cost of affordable single family houses has gone sky high. Twin homes provide an affordable option. Developer Rooney stated that the intent is to develop single family and twin homes with C&M Builders. This is the same builder as for Willow Creek north of Bridgewater Avenue for the previous ten years. Once platted, C&M Builders and Rooney will have partnership. The twin homes will be sold as Rooney has no desire to own and rent them out. Misfeldt stated that the city was behind the times as far as twin homes went and that they would be sold very fast. Tzanakis asked if lots could be sold to individuals. Rooney stated that only two lots in Willow Creek were sold to individuals. It's just not a common occurrence.

Tzanakis and Smith hypothesized that students would cross County N at Tropicana Boulevard rather than walk east and cross at Hilary Street.

Vice-Chairperson Hubbard opened a public hearing.

Lorraine Hall at 1384 Jake Place appeared and was concerned about previous Planned Development Conditional Use Permits changing from multi-family to corn fields and then to multi-family and twin homes. Also concerned with traffic at Hilary Street and Elm Street and school age children crossing Elm Street/County N. Also, concerned about how close twin homes are together and storm runoff from the twin homes. Scott Steinmetz of 929 Bluffview Court appeared with the biggest concern about storm runoff. He understands he doesn't own the ditches but plants in the ditch because it's wet. He also was concerned with traffic. Tropicana Boulevard isn't wide enough and radii aren't large enough. Construction trash and dirt blow into his yard. The watermain connection in the easement through his yard wasn't re-established to his satisfaction. Margaret Kitze of 1384 Jake Place appeared with concerns that the property line is ten feet from her deck and thinks development would lower her property value. She believes there should be additional sidewalk included on Hilary Street and Macomber Street. She would like to buy an adjacent lot from Rooney. Andrew Nelson of 1203 Macomber Street appeared with a request to have the twin homes and single family homes access be to the west to Park West and not open to the east to Macomber Street. He would like to buy an adjacent lot from Rooney. Jackie Price of 1122 Macomber Street appeared and hypothesized that traffic would triple on Macomber Street. She was concerned that there weren't sidewalks on Macomber street and that the Hilary St./Macomber St. intersection was an uncontrolled intersection. She thinks children could be hurt with additional traffic. Wants to stick with original plan for twenty-nine single family homes. Mark Price also at 1122 Macomber Street appeared and thought there would be more children than 185 with 200 new apartment units. Also thought crossing Elm Street at Hilary Street was a poor idea. Wants more sidewalk and more controlled intersections. Concerned that plans change every eleven months. Jason Weindorfer of 1312 Hilary Street appeared and likes that houses in the current neighborhood are custom and is concerned that new houses will all look the same. He would like to see the single family lots remain instead of changing to twin homes. Ted Solberg of 1279 Jake Place appeared. He has concerns with traffic control but thinks that the development is needed. He is concerned that Hilary St./Macomber St. is an uncontrolled intersection. Walt Matchim of 1276 Jake Place appeared with concern that twin homes along the west side of the new proposed street isn't a good fit.

Vice-Chairperson Hubbard closed the public hearing at 7:42 pm.

The Plan Commission then discussed separating the resolution into two parts. Misfeldt noted that twin homes are new to Chippewa Falls but very popular for years in surrounding communities. He noted that the existing Halmstad neighborhood on the city's southside was a denser neighborhood. Smith was concerned that traffic increase was a major concern. He wanted results for the Traffic Impact Analysis, the school district and the bus company's opinion prior to approval. Arneberg asked is the sidewalk could be constructed on Tropicana Boulevard between Mansfield Street and County N. Director of Public Works Rubenzer stated that by state statute, adjacent owners in the Town of Wheaton would be responsible for snow removal and maintenance and that he didn't believe the city could require sidewalk construction in the Town of Wheaton. Smith stated that Wisconsin Green had a signal light at STH #178 and County I, so it was different than Park West.

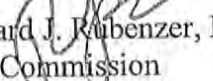
Motion by Varga, seconded by Hubbard to approve Planned Development Conditional Use Permit Resolution No. 2022-02 granting Rooney Properties Wisconsin LLC to develop the twenty-four unit apartments on 5.13 acres of recently acquired right-of-way and to develop twelve twin homes (24 units) instead of twelve single family lots along the west side of the new proposed street west of Jake Place contingent on pending results of a Traffic Impact Analysis for Park West II subdivision. **A roll call vote was taken. Voting aye were Varga, Hubbard, Cihasky, Misfeldt, Tzanakis, Arneberg and Rubenzer. Voting naye were Smith and Hiess. The motion was approved on a 7-2 vote.**

The attendees for the Park West II subdivision left the meeting at this point.

4. Trevor Bohland of the Chippewa Area Boys and Girls Club appeared to support Conditional Use Permit Resolution No. 2022-03. He has been on the Board for fifteen years while serving two years as president. The Boys and Girls Club has been located in the Chippewa Valley Museum since 2012 and have been looking for a new location for expansion for about three years. Plans are to perform revisions in the existing building with a 6600 sf expansion. The goal is to increase programming from their existing 70 children to 200 children. They currently use a space at the Masonic Lodge, YMCA and Chippewa Valley Museum and utilize Irvine Park whenever possible. Currently snacks are offered but the kitchen and cafeteria are inadequate. Mental health professionals are on staff. There would be two phases. Chippewa Falls Director Mollie Hogan appeared and stated children go outside in small groups. Would like perimeter fence but a fence isn't in the current budget. The national staffing ratios are 10 children per boys and girls club staff. The estimate is it will take ten years to get to the full 200 children capacity. Current capacity at the Masonic Lodge is about 120. There is a waiting list of 70 children. Vice Chairperson Hubbard opened a public hearing at 8:43 pm.
Erik Anderson of 612 Bridgewater Avenue appeared. His family lives on the adjacent east side of 650 Bridgewater Avenue. He recognized a need for the Boys and Girls Club but wondered if his home, which is currently for sale, would be devalued. He asked if Plan Commission members lived there if they would be in favor. Gregg Mizerk of 629 Northridge Drive appeared. He was a previous president of the Northridge Drive Homeowners Association. He stated this would be a great asset for the neighborhood and supported Planned Development Conditional Use Permit Resolution No. 2022-03. Mel Bollom of 621 Northridge Drive appeared and stated he wasn't notified of the public hearing until earlier in the day. He stated he was on the Museum Board when the Boys and Girls Club was approved to locate downtown in the existing location. He isn't in favor of a teen center or gym. He was concerned that all homeowner's association owners weren't notified and that the notice stated "in the existing building" but didn't list the addition. Julius Lee of 663 Cedarwood Court appeared and stated he did not want to see a brick building when looking out his back window. He would rather see the Boys and Girls Club utilize the fairgrounds. Ann Kaiser, CEO of the Boys and Girls Club appeared to support the Conditional Use Permit Resolution No. 2022-03. She said she appreciates and respects the concerns of the neighbors and children are taught the same. The building is perfect for use by children. The gymnasium will be a recreation space but not rented out. Similar conversations about teen centers occurred in Menomonie and failed teen centers were in unstructured environments. This is a planned 2-3 million dollar investment with 2.5 million dollars already committed. Teens would be separate from second graders. Heidi Ottaveare of 8115 160th Street spoke on behalf of her parents Fred and Carol Holtz and would like the exterior lighting explained. Bright lighting would have a big impact on the neighborhood.
Vice-Chairperson Hubbard closed the public hearing at 9:12 pm.
Director of Public Works Rubenzer noted that public hearing notices stated the use being proposed and states that a full copy of the permit resolution is available in the Engineering Department prior to the hearing. The notice doesn't list all details of the permit. He continued that notices are sent to all adjacent property owners within 150 feet of the perimeter of the parcel on which the Conditional Use Permit would take place.
Motion by Tzanakis, seconded by Hiess to approve Conditional Use Permit Resolution No. 2022-03 allowing the Boys and Girls Club of the Greater Chippewa Valley – Chippewa Falls Center to operate a boys and girls club on parcel #22909-3644-07000000 located at 650 Bridgewater Avenue contingent on City Attorney Ferg's review and opinion that the public hearing notice that was sent to adjacent property owners was properly stated and sent to the proper owners. **A roll call vote was taken. Voting aye were Tzanakis, Hiess, Cihasky, Misfeldt, Varga, Arneberg, Smith, Rubenzer and Hubbard. Motion was approved on a 9-0 vote.**

The attendees for the Boys and Girls Club hearing left the meeting at this point.

5. The Plan Commission considered the attached Twin Home Construction Requirements and Standards. Existing City of Chippewa Falls Municipal Code doesn't address Twin Homes. City Planner Hentschel has examined about six different cities codes and Chippewa County codes concerning Twin Homes and about half require conditional use permits. Twin Homes could be added to existing code as a permitted use in certain districts or added as its own district or remain as a conditional or planned development conditional use, **No action was taken.**
6. The Plan Commission considered the attached Certified Survey Map for Lot 1 of CSM #801 and a part of the Northwest ¼ of the Northwest ¼ Section 17, T28N, R8W, located at 303 and 409 East Prairie View Road, submitted by Registered Land Surveyor Michael S. Ward on behalf of Chippewa Holdings LLC and U-Haul. After discussion;
Motion by Hiess, seconded by Varga to approve Certified Survey Map for Lot 1 of CSM #801 and a part of the Northwest ¼ of the Northwest ¼ Section 17, T28N, R8W, located at 303 and 409 East Prairie View Road, submitted by Registered Land Surveyor Michael S. Ward on behalf of Chippewa Holdings LLC and U-Haul contingent upon all revisions from County Surveyor Sam Wenz and receipt of all Certified Survey Map review fees. **All present voting aye. Motion carried.**
7. The Plan Commission considered the attached Preliminary and Final Plats of Autumn Winds Subdivision located in the Town of Lafayette, submitted by Hiess-Loken & Associates LLC. Director of Public Works Rubenzer noted that the subdivision is in the 3 mile extra-territorial plat review area. Commissioner Hiess stated this subdivision is being developed by Dennis Lyberg and Southwinds LLC.
Motion by Misfeldt, seconded by Cihasky to recommend the Common Council approve Preliminary and Final Plats of Autumn Winds Subdivision located in the Town of Lafayette, submitted by Hiess-Loken & Associates LLC contingent on receipt and approval of any necessary stormwater management plan and receipt of plat review fees. **All present voting aye except Hiess who recused himself and abstained from the vote. Motion carried.**
8. The Plan Commission considered the attached Map of Survey of the River Street – High Street area. After discussion;
Motion by Hubbard, seconded by Cihasky to recommend the Common Council approve the attached Map of Survey of the River Street – High Street area presented on behalf of the Chippewa Valley Cultural Association (CVCA) Heyde Center for the Arts and make any necessary revisions to the Chippewa Falls Plat. **All present voting aye except Hiess who recused himself and abstained from the vote. Motion carried.**
9. **Motion** by Varga, seconded by Smith to adjourn. **All present voting aye. Motion carried.** The Plan Commission adjourned at 9:50 P.M.


Richard J. Rubenzer, P.E., Secretary
Plan Commission

PLAN COMMISSION ATTENDANCE SHEET

DATE: March 7, 2022 (2)

NAME	COMPANY REPRESENTING	ADDRESS	PHONE #	EMAIL
Scott Steinmetz	—	929 Bluff View Ct	715-450-5528	—
Jason Weindorfer	—	312 Hilary St	715-563-1800	akaiser@cucubs.org
Annika Kaiser	Boys Girls Club		715-577-8295	cucubs.org
Jillios Ess	—	663 EZ Drive West	715-529-1888	
Juel Bolan	621 Northridge Dr.	621 Northridge Dr.	715-529-8800	bolan8383@steylobel.net
Walt & Jean Metchum	—	1276 Lake Place	715-726-1888	
Heidi Ottevaere	—	8115 160th St. C.F.	715-861-3308	
Nick Rooney	Heartland	13167 City View Dr	715-450-5775	n.rooney@heartlandwi.com
Trevon Battens	Boys & Girls Clubs	3420 Wm. Drive, EC	715-552-1818	Trevon@EmergenceSecurity.com
Mouie Hogan	Boys & Girls Clubs		715-894-7430	mhogan@cucubs.org

PLAN COMMISSION ATTENDANCE SHEET

DATE: March 7, 2022

NAME	COMPANY REPRESENTING	ADDRESS	PHONE #	EMAIL
JEFF JONES	UHAUL	10923 GREYWALL	224-4020042	JEFF-JONES@UHAUL.COM
IMY SCHWOCH	UHAUL	10923 Greywall	815-482-6639	Imy-Schwoch@Uhaul.com
LORRAINE HALL		1384 Jake Place	715-579-6356	lor6356@gmail.com
Margaret Kutz		11 11	579-6148	fitze@gmail
Jordan Crossing	Advanced Engineering	13552 41st Ave	404-6001	
SEAN BOLLAN	AEC	1360 FURBERMAN DR	715-552-0338	
Jacque Price		1122 Macomber St	715-252-0544	
Mark Price		1122 Macomber St	715-252-0544	
Gneva Mizenk		625 NORTHAIDOE DRIVE	715 215 0512	gmizenk@gmail.com
GAIL MIZENK		629 NORTHAIDOE DRIVE	715 559 8666	
Carol Holtz		679 Cedarwood Ct.	715-577-2719	

**CITY OF CHIPPEWA FALLS PLAN COMMISSION CONDITIONAL
USE PERMIT RESOLUTION 2022-04 TO ALLOW THE BOYS AND
GIRLS CLUB OF THE GREATER CHIPPEWA VALLEY-CHIPPEWA
FALLS CENTER TO OPERATE A BOYS AND GIRLS CLUB,
INCLUDING EXPANDED USE AND RENOVATION ON PARCEL
#22909 3644 07000000, IN THE SE ¼ OF THE SE ¼, SECTION 36, T29N,
R9W LOCATED AT #650 BRIDGEWATER AVENUE**

WHEREAS, on August 9, 1982, the City of Chippewa Falls Plan Commission approved Conditional Use Permit Resolution No. 1982-02 allowing the operation of a private lodge in a building located at #650 Bridgewater Avenue in a single family residential district; and

WHEREAS, on February 10, 2020, the City of Chippewa Falls Plan Commission approved Conditional Use Permit Resolution No. 2020-01 allowing River City Community Church to operate a Christian church on Parcel #22909 3644 07000000 located at #650 Bridgewater Avenue; and

WHEREAS, at its February 7, 2022 meeting, the City of Chippewa Falls Plan Commission heard a request from Board Member Trevor Bohland of the Boys and Girls Club of the Greater Chippewa Valley-Chippewa Center to use the existing building and expanded use, renovation and proposed 6600sf addition on Parcel #22909 3644 07000000 located at #650 Bridgewater Avenue to operate a Boys and Girls Club. Mr. Bohland stated that existing facility locations had been outgrown and that an improved kitchen and facilities was necessary; and

WHEREAS, Parcel #22909 3644 07000000 on which #650 Bridgewater Avenue is located is presently zoned as R-1A Single Family Residential Zoning District; and

WHEREAS, the use of a parcel as a Boys and Girls Club is a conditional use in a R-1A Single Family Residential Zoning District as set forth in City of Chippewa Falls Municipal Code Chapter 17.20(8)(c); and

WHEREAS, the City of Chippewa Falls Plan Commission has reviewed and evaluated the request of the Boys and Girls Club of the Greater Chippewa Valley-Chippewa Center for a Conditional Use Permit to operate a Boys and Girls Club on Parcel #22909 3644 07000000; and

WHEREAS, the City of Chippewa Falls Plan Commission conducted a public hearing on Monday, April 11, 2022 at 6:30 P.M. to hear all concerns about requested Conditional Use Permit Resolution No. 2022-04 after proper notification of all adjacent property owners within 150 feet of the parcel and the publishing of a Class II notice for the said public hearing.

WHEREAS, the Plan Commission finds the following facts:

- a) Using parcel # 22909 3644 07000000 as a Boys and Girls Club would not be detrimental to the health, welfare, and character of the existing neighborhood.
- b) Such other findings of fact related to the proposed amendment, which are made after hearing on the record.

NOW, THEREFORE, BE IT RESOLVED BY THE PLAN COMMISSION OF THE CITY OF CHIPPEWA FALLS, WISCONSIN that pursuant to Chapter 17.20(8)(c) of the Code of Ordinances of the City of Chippewa Falls, Wisconsin, that a Conditional Use Permit is hereby issued for the Boys and Girls Club of the Greater Chippewa Valley to operate a Boys and Girls Club on parcel #22909 3644 07000000 located at #650 Bridgewater Avenue under the following conditions:

- a. That the Boys and Girls Club of the Greater Chippewa Valley-Chippewa Center be permitted to be operate in the existing building and expanded use, renovation and 6600sf addition on Parcel #22909 3644 07000000 located at #650 Bridgewater Avenue.
- b. That the 26 existing parking spaces be provided in accordance with Chapter 17.41 Parking Space Requirements, of the Zoning Code and bus parking be permitted in the back of the building.
- c. That the hours of operation be 7:30am-6:00pm (summer) and 3:00pm – 7:00pm during the school year, Monday through Friday. In addition, on a limited basis for special programming or family events such as Thanksgiving Feast hours may exceed the previously stated hours.
- d. That twenty-three part-time and four full time employees be permitted.
- e. That the Boys and Girls Club operation be allowed in the existing 9,000 square foot building and 6,600 square foot addition.
- f. That the building be electronically secured with a badged entrance.
- g. That a maximum of 200 residents ages 8-18 be permitted.
- h. That the existing vegetative screen be maintained.
- i. That existing and proposed lights be upgraded to dark sky compliant and located as shown on the attached site plan.
- j. That one dark sky compliant lighted monument sign, not to exceed 8' high x 8' wide, be allowed and placed according to the attached site layout.

- k. That the approved site plan, which is attached hereto, and made an integral part of the Conditional Use Permit be maintained in both the City of Chippewa Falls Engineering Department Office and the City of Chippewa Falls Building and Inspection Office.
- l. Except as specifically provided herein, all regulations of the City Zoning Code shall apply.
- m. That this permit shall become null and void by non-compliance with this permit or related Codes or by application to the Board of Appeals for any Code variance at these premises.
- n. Chapter 17.47 (13) shall apply and this permit shall terminate if the use for which this permit is issued shall cease for a continuous two year period.
- o. Modifications or changes to this permit may be made only by the Plan Commission after an application for an amendment has been duly filed and notices and hearing requirements have been complied with.

MOTION: _____

SECONDED: _____

I hereby certify that the Plan Commission of the City of Chippewa Falls, Wisconsin, adopted the above Resolution on April 11, 2022 by a vote of _____ ayes, _____ nays, and _____ abstentions.

ATTEST: _____

Richard J. Rubenzer, PE, Secretary
Plan Commission

**NOTICE OF PUBLIC HEARING
CONDITIONAL USE PERMIT**

Notice is hereby given that the Plan Commission of the City of Chippewa Falls will conduct a public hearing in the Council Chambers, Municipal Building, 30 West Central Street, Chippewa Falls, Wisconsin, commencing at **6:30 P.M. on Monday, April 11, 2022** regarding:

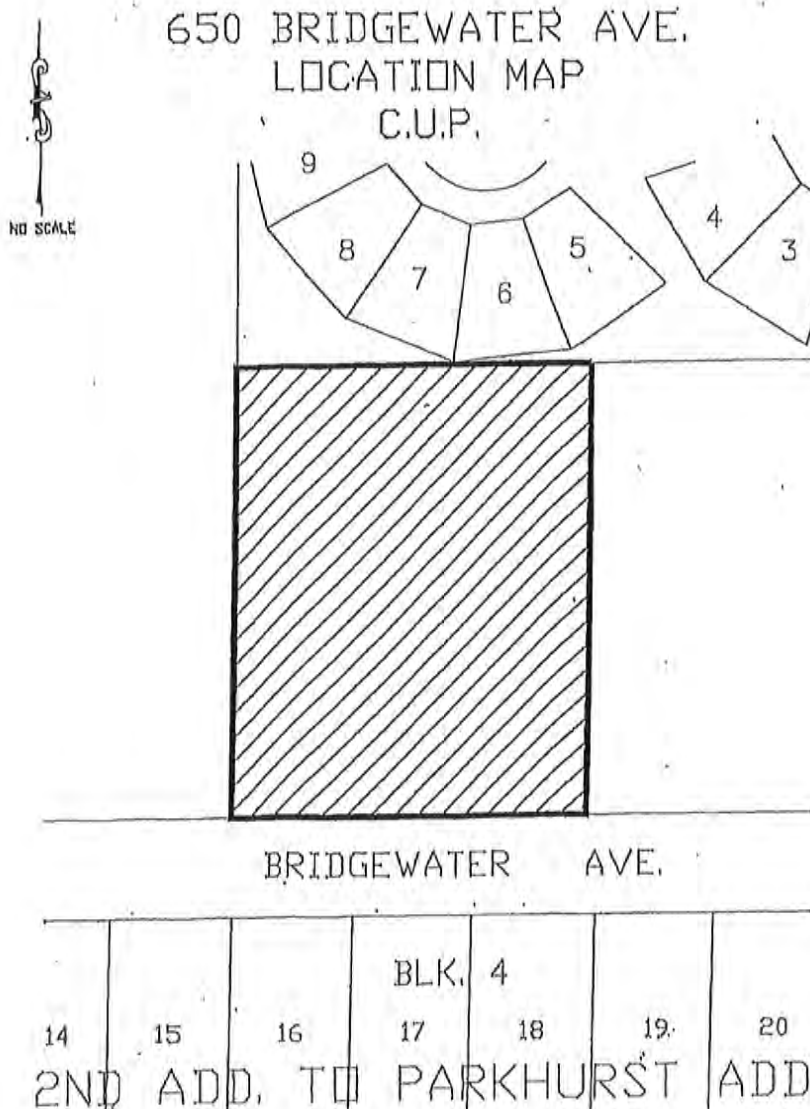
A Conditional Use Permit Resolution to allow the Girls and Boys Club of the Greater Chippewa Valley – Chippewa Falls Center to operate a boys and girls club, including expanded use and renovation, on Parcel #22909-3644-07000000, in the Southeast ¼ of the Southeast ¼, Section 36, T29N, R9W, located at 650 Bridgewater Avenue in the City of Chippewa Falls.

This parcel is currently zoned R-1A Single Family Residential District.

Following the hearing, the Plan Commission will consider adoption of a resolution granting the permit.

A copy of the proposed resolution with the conditions of the proposed permit, including expanding use of the building and the premises, may be inspected at the office of the City Engineer in the Municipal Building at 30 West Central Street during regular office hours. (8:30 A.M. to 3:30 P.M.)

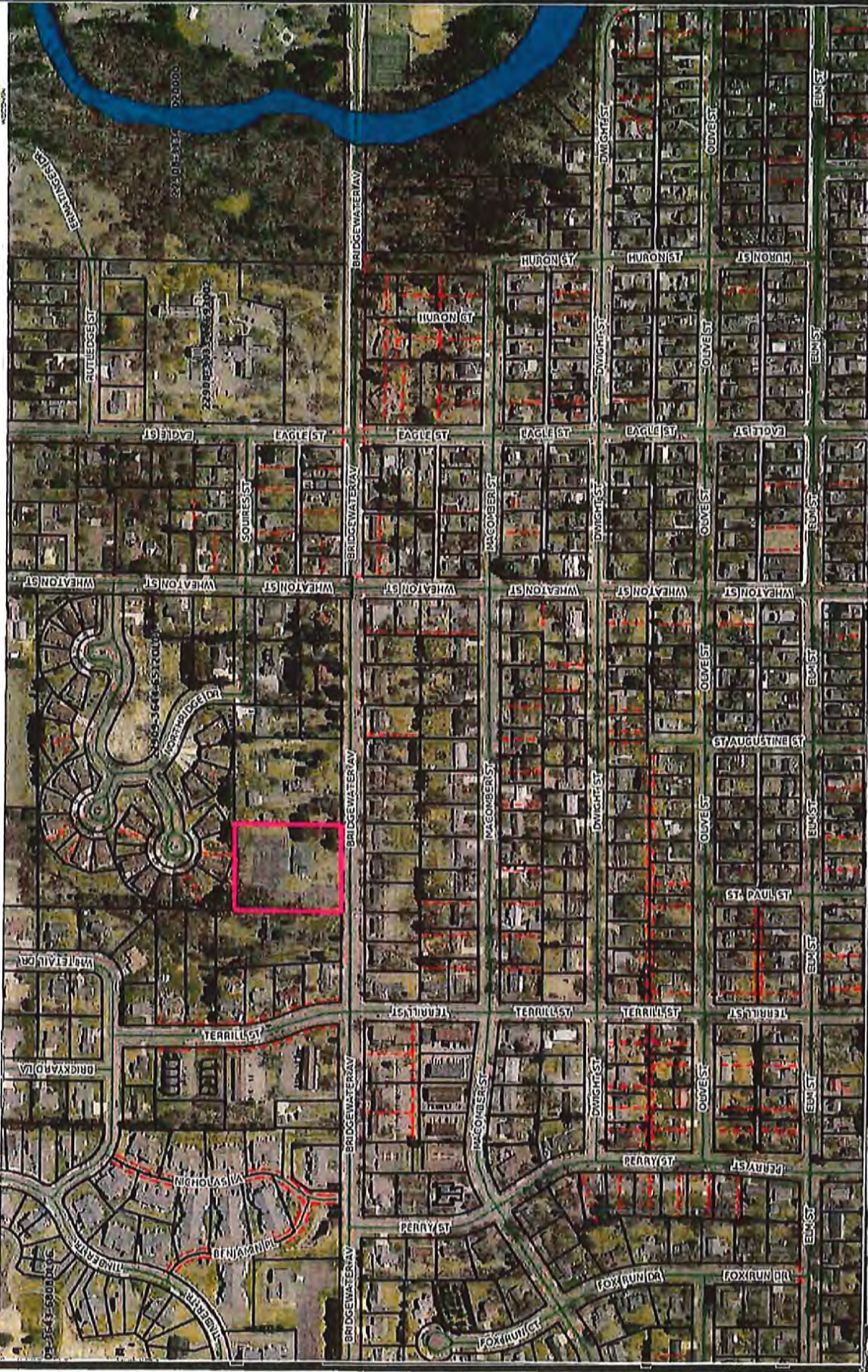
Richard J. Rubenzer, P.E., Secretary
Plan Commission



Map

Printed 01/10/2022

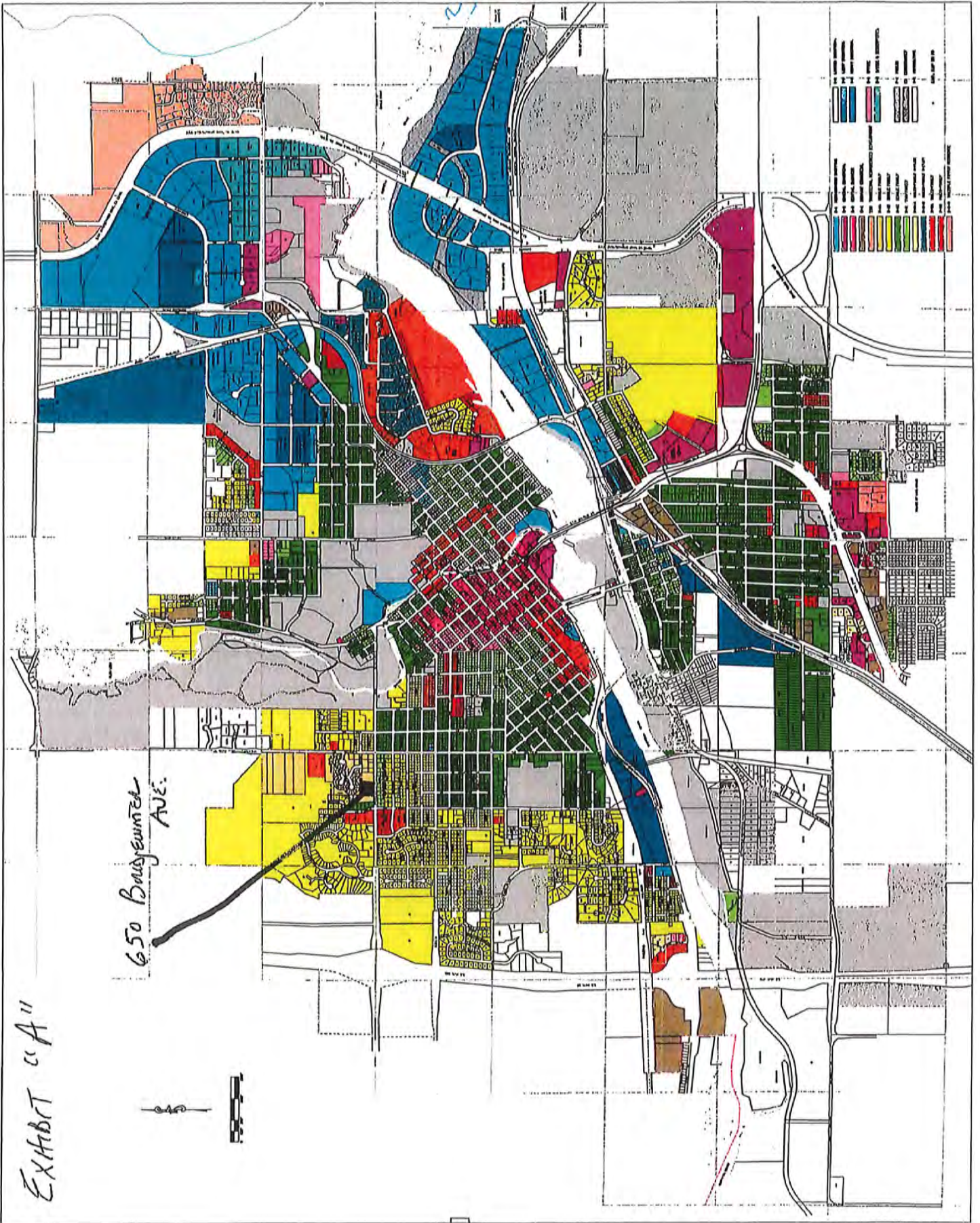
Scale = 1:391'



Disclaimer: This map is a compilation of records as they appear in the Chippewa County Offices affecting the area shown and is to be used only for reference purposes.

EXHIBIT "A"

650 Broadway Ave.





Know what's below.
Call before you dig.



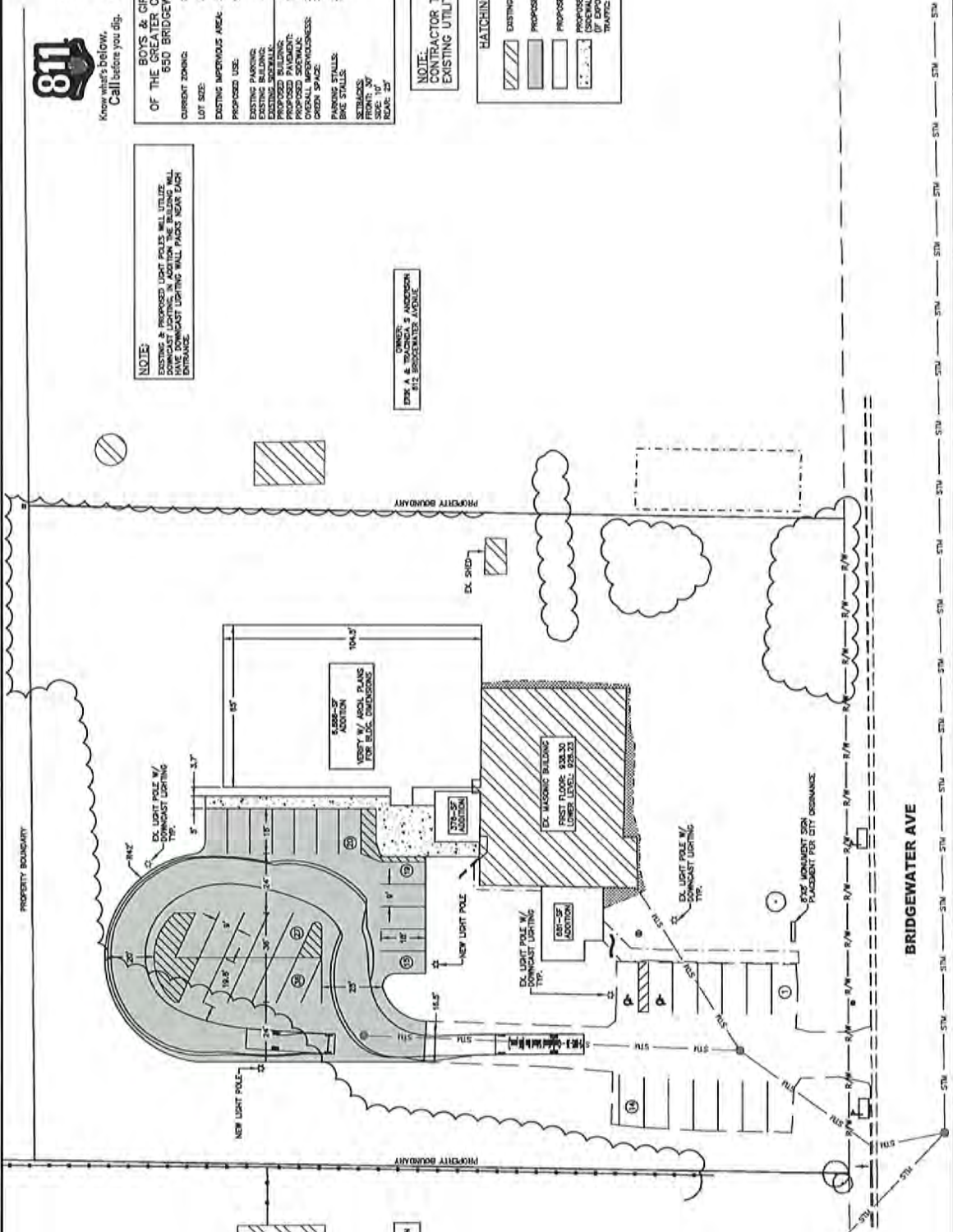
NOTE:
EXISTING & PROPOSED LIGHT POLES WILL UTILIZE
DOWNCAST LIGHTING. IN ADDITION, THE BUILDING WILL
UTILIZE DOWNCAST LIGHTING WALL PACKS NEAR EACH
ENTRANCE.

**BOYS & GIRLS CLUB
OF THE GREATER CHIPPEWA VALLEY
650 BRIDGEWATER AVE**
R-1A
CURRENT ZONING: 67,100 SF (2.00 AC.)
LOT SIZE: 28,729-SF (0.66)
EXISTING IMPERVIOUS AREA: 28,729-SF (0.66)
PROPOSED USE: CLUB
EXISTING BUILDING: 4,847-SF (0.12)
EXISTING SIDEWALK: 7,843-SF (0.18)
EXISTING DRIVEWAY: 8,453-SF (0.19)
PROPOSED PARKING: 11,720-SF (0.26)
PROPOSED SIDEWALK: 2,000-SF (0.05)
PROPOSED DRIVEWAY: 23,222-SF (0.52)
TOTAL SQUARE FOOTAGE: 57,915-SF (1.29)
OWNER: EREX, A & TACHONA'S ANDERSON
815 BRIDGEWATER AVENUE

NOTE:
CONTRACTOR TO FIELD VERIFY
EXISTING UTILITY LOCATIONS

HATCHING LEGEND:

	EXISTING BUILDING
	PROPOSED BITUMINOUS PAVEMENT
	PROPOSED CONCRETE PAVEMENT (SIDEWALKS & DRIVEWAYS) THICKNESS 6" (TYPICAL) THICKNESS 8" (TYPICAL)



NO.	DATE	REVISIONS

DRAFTED BY: []
CHECKED BY: []
DESIGNER BY: []

PROJECT NO. 21138

AEC
ADVANCED ENGINEERING CONCEPTS
1580 INTERNATIONAL DR, SUITE #1
DALLAS, TX 75247
714.466.4666
www.aec-engineering.com
COPYRIGHT 2022 AEC LLC

SITE PLAN CONCEPT 2

OWNER: EREX, A & TACHONA'S ANDERSON
815 BRIDGEWATER AVE
CHIPPEWA FALLS, WI

SWC NAME: 21138 SITE PLAN
DATE: 07/2022

Example for 04/11/2022 Plan Commission



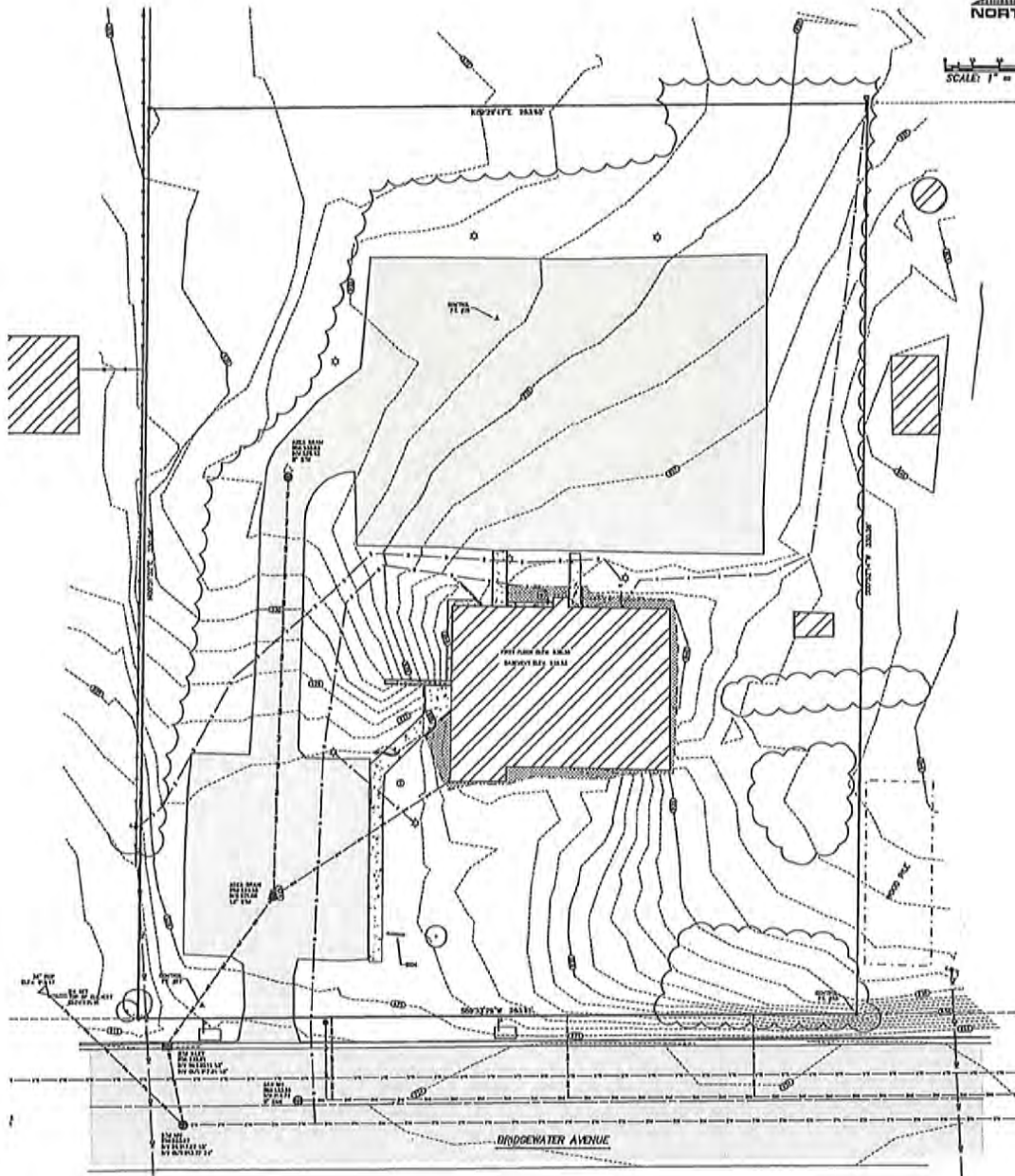


REAL LAND SURVEYING
 1340 INTERNATIONAL DRIVE
 SUITE 2
 CAU CLARKE, WI 54701
 (715) 814-4118

DATE PLOTTED
 12/21/21
 15:10:56 EST



SCALE: 1" = 20'



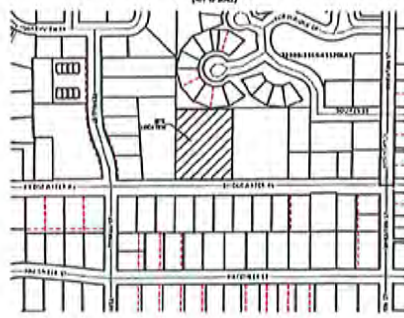
LEGEND

- 4" - 6" EXTERIOR DIAMETER RIBBON PIPE
- EXISTING BUILDING
- ▭ EXISTING CONCRETE SURFACE
- ▭ EXISTING BITUMINOUS SURFACE
- EXISTING LANDSCAPING
- EXISTING STEWART SERVICES
- EXISTING WATER SERVICES
- EXISTING SANITARY SERVICES
- EXISTING OVERHEAD LINES
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND GAS
- EXISTING UNDERGROUND TELEPHONE
- < EXISTING CUT NOSE
- EXISTING TELEPHONE PERSONAL
- EXISTING POWER POLE
- EXISTING AIR CONDITIONING UNIT
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING CURB WALK
- EXISTING CURB STOP
- EXISTING SANITARY CLEANOUT
- EXISTING DRAINAGE BOX
- EXISTING GAS METER
- EXISTING FENCE
- EXISTING LIGHT POLE
- EXISTING TREE LINE

CONTROL - 21489

POINT #	TYPE	NORTHING	EASTING	ELEVATION
15	1" P.P.C.	13250.840F	10701.830F	
27	6\"/>			

PROJECT LOCATION
(NOT TO SCALE)



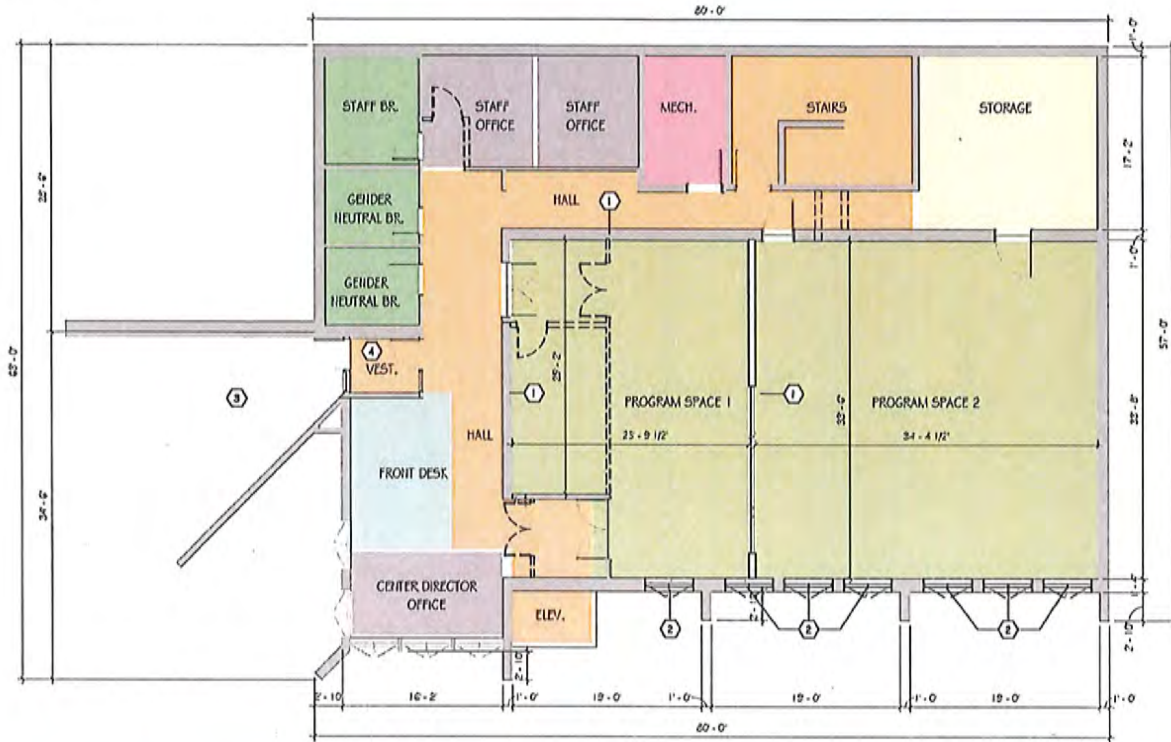
TOPOGRAPHIC SURVEY
 LOCATED IN SECTION 36,
 TOWNSHIP 28 NORTH, RANGE 9 WEST,
 CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN

FIELD WORK WAS COMPLETED ON 12/21/21
 DROCK'S HOME # 2011101000



BOYS & GIRLS CLUBS
OF THE GREATER CHIPPEWA VALLEY

MAIN LEVEL ENTRANCE

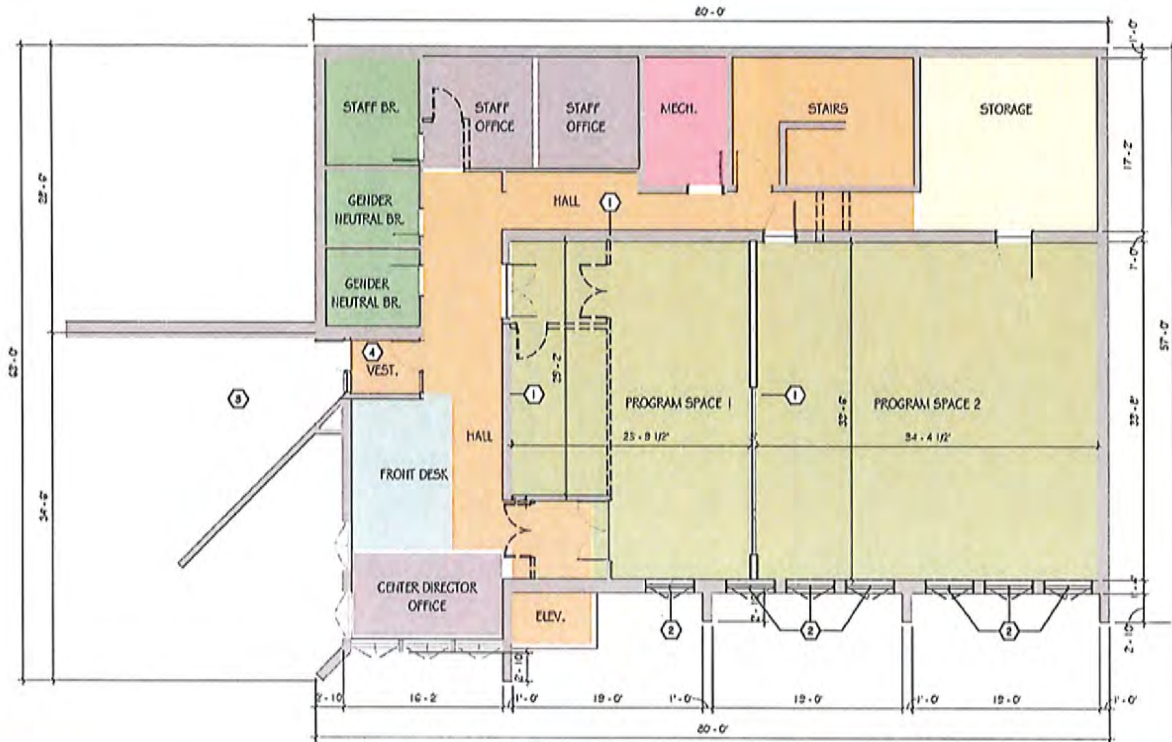


SIMILAR SPACES



BOYS & GIRLS CLUBS
OF THE GREATER CHIPPEWA VALLEY

MAIN LEVEL PROGRAM SPACES

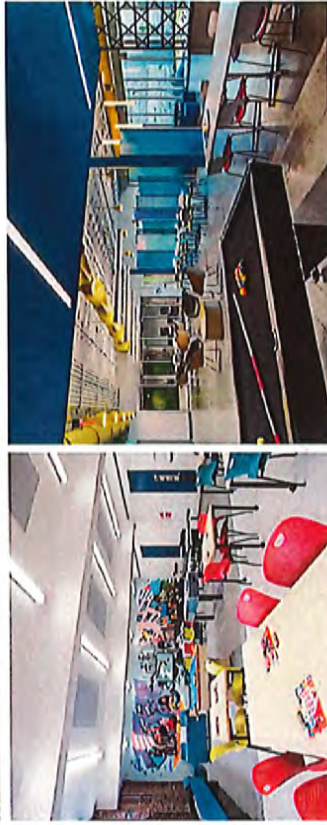


SIMILAR SPACES



BOYS & GIRLS CLUBS
OF THE GREATER CHIPPEWA VALLEY

UPPER LEVEL TEEN CENTER

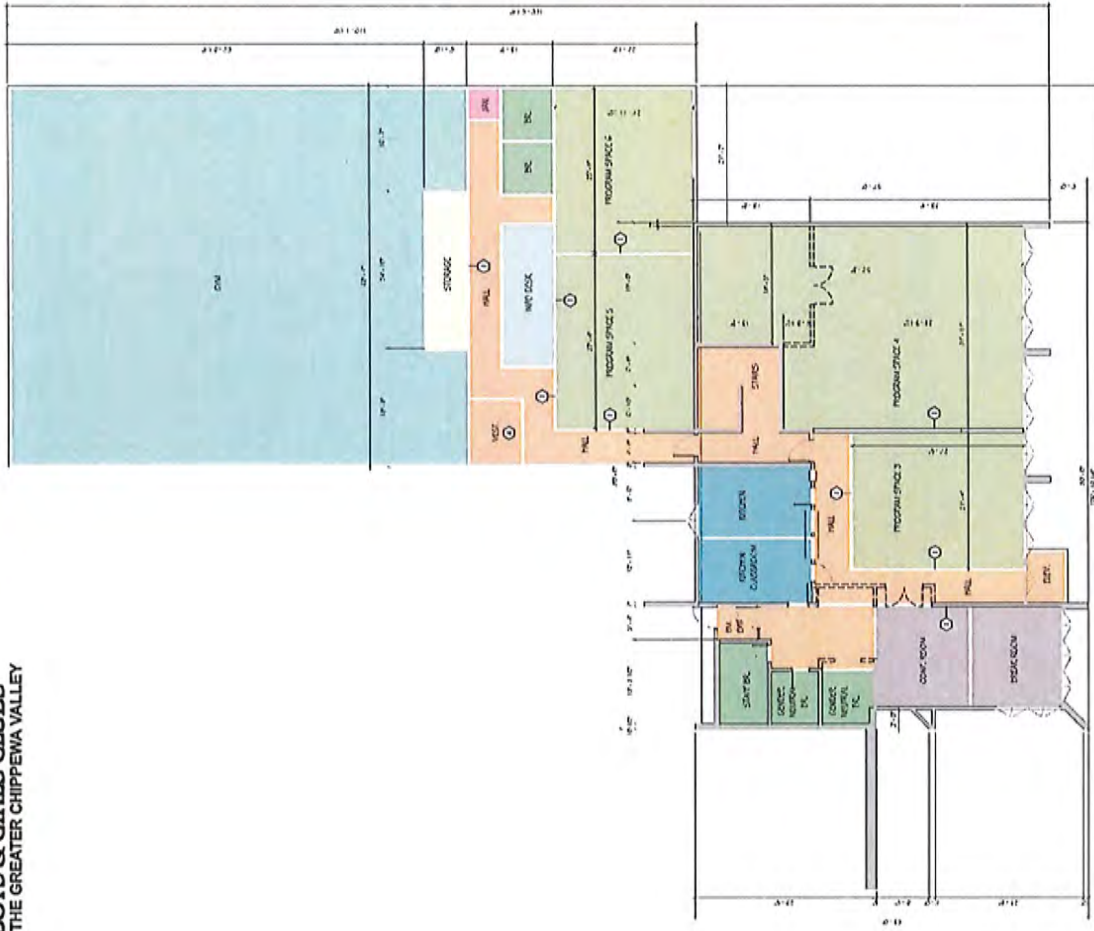


SIMILAR SPACES



BOYS & GIRLS CLUBS
OF THE GREATER CHIPPEWA VALLEY

UPPER LEVEL GYMNASIUM



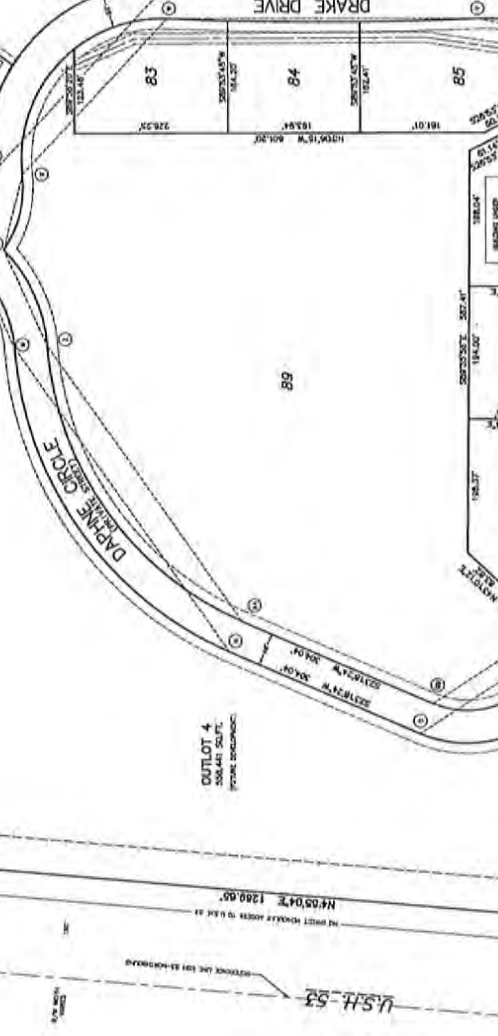
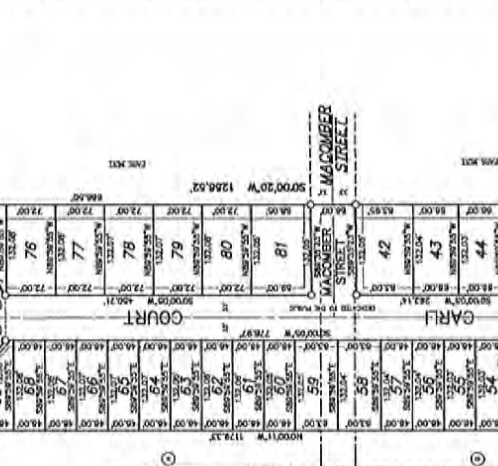
SIMILAR SPACES



LEGEND
- 1" DIA. G.P. PIPE
- 4" DIA. G.P. PIPE
- 6" DIA. G.P. PIPE
- 8" DIA. G.P. PIPE
- 12" DIA. G.P. PIPE
- 18" DIA. G.P. PIPE
- 24" DIA. G.P. PIPE
- 30" DIA. G.P. PIPE
- 36" DIA. G.P. PIPE
- 42" DIA. G.P. PIPE
- 48" DIA. G.P. PIPE
- 54" DIA. G.P. PIPE
- 60" DIA. G.P. PIPE
- 66" DIA. G.P. PIPE
- 72" DIA. G.P. PIPE
- 78" DIA. G.P. PIPE
- 84" DIA. G.P. PIPE
- 90" DIA. G.P. PIPE
- 96" DIA. G.P. PIPE
- 102" DIA. G.P. PIPE
- 108" DIA. G.P. PIPE
- 114" DIA. G.P. PIPE
- 120" DIA. G.P. PIPE
- 126" DIA. G.P. PIPE
- 132" DIA. G.P. PIPE
- 138" DIA. G.P. PIPE
- 144" DIA. G.P. PIPE
- 150" DIA. G.P. PIPE
- 156" DIA. G.P. PIPE
- 162" DIA. G.P. PIPE
- 168" DIA. G.P. PIPE
- 174" DIA. G.P. PIPE
- 180" DIA. G.P. PIPE
- 186" DIA. G.P. PIPE
- 192" DIA. G.P. PIPE
- 198" DIA. G.P. PIPE
- 204" DIA. G.P. PIPE
- 210" DIA. G.P. PIPE
- 216" DIA. G.P. PIPE
- 222" DIA. G.P. PIPE
- 228" DIA. G.P. PIPE
- 234" DIA. G.P. PIPE
- 240" DIA. G.P. PIPE
- 246" DIA. G.P. PIPE
- 252" DIA. G.P. PIPE
- 258" DIA. G.P. PIPE
- 264" DIA. G.P. PIPE
- 270" DIA. G.P. PIPE
- 276" DIA. G.P. PIPE
- 282" DIA. G.P. PIPE
- 288" DIA. G.P. PIPE
- 294" DIA. G.P. PIPE
- 300" DIA. G.P. PIPE



PARCEL TABLE	PARCEL TABLE		
LOT NO.	AREA (SQ FT)	LOT NO.	AREA (SQ FT)
42	11,202	80	13,300
43	8,754	81	15,970
44	8,754	82	15,970
45	8,377	83	15,970
46	8,377	84	15,970
47	13,328	85	15,970
48	13,328	86	15,970
49	13,328	87	15,970
50	13,328	88	15,970
51	13,328	89	15,970
52	13,328	90	15,970
53	13,328	91	15,970
54	13,328	92	15,970
55	13,328	93	15,970
56	13,328	94	15,970
57	13,328	95	15,970
58	13,328	96	15,970
59	13,328	97	15,970
60	13,328	98	15,970
61	13,328	99	15,970
62	13,328	100	15,970



UTILITY EASEMENTS FOR THE USE OF THE BOARD OF PUBLIC UTILITIES IN THE UTILITY EASEMENT ZONING DISTRICT OF SECTION 11, TOWNSHIP 34N, RANGE 10W, COUNTY OF OCONTO, WISCONSIN, INCLUDING ALL OF LOTS 1 AND 2 OF SD 146, S44, N, R10W, T34N-208.

THIS MAP WAS PREPARED BY THE CITY ENGINEER, CITY OF OCONTO, WISCONSIN, FOR THE BOARD OF PUBLIC UTILITIES. THE CITY ENGINEER HAS REVIEWED THIS MAP AND FOUND IT TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 103.05, CHAPTER TCM 10.00, CITY OF OCONTO, WISCONSIN. THE CITY ENGINEER HAS ALSO REVIEWED THE RECORDS OF THE OCONTO PUBLIC UTILITIES AND HAS FOUND NO DISCREPANCIES. THE CITY ENGINEER HAS ALSO REVIEWED THE RECORDS OF THE OCONTO PUBLIC UTILITIES AND HAS FOUND NO DISCREPANCIES.

PLANNING AND ENGINEERING
1501 N. BRIDGEWATER AVENUE
OCONTO, WISCONSIN 54978

There are no objections to this plat with respect to the lots shown hereon, and the same are in accordance with the provisions of the ordinance of the City of Oconto, Wisconsin, Chapter TCM 10.00, City of Oconto, Wisconsin, relating to the platting of lots.

Certified: _____
City Engineer

Department of Administration

PLANNING AND ENGINEERING
1501 N. BRIDGEWATER AVENUE
OCONTO, WISCONSIN 54978

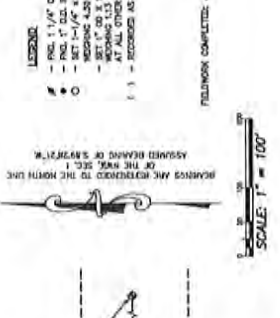
STATE OF WISCONSIN
COUNTY OF OCONTO

RECORDED IN THE OFFICE OF THE CLERK OF COURTS
AT OCONTO, WISCONSIN, THIS _____ DAY OF _____, 2013.

FIELDWORK COMPLETED: JANUARY 23, 2013

PLANNING AND ENGINEERING
1501 N. BRIDGEWATER AVENUE
OCONTO, WISCONSIN 54978

SCALE: 1" = 100'



BRIDGEWATER AVENUE
DAPINE CIRCLE
DRAKE DRIVE
MACOMBER STREET
GARLE COURT
G.P. PIPE
CONCRETE
EASEMENT

U.S.H. 53
TOWNSHIP 34N
RANGE 10W

SECTION 11

LOT 42 11,202
LOT 43 8,754
LOT 44 8,754
LOT 45 8,377
LOT 46 8,377
LOT 47 13,328
LOT 48 13,328
LOT 49 13,328
LOT 50 13,328
LOT 51 13,328
LOT 52 13,328
LOT 53 13,328
LOT 54 13,328
LOT 55 13,328
LOT 56 13,328
LOT 57 13,328
LOT 58 13,328
LOT 59 13,328
LOT 60 13,328
LOT 61 13,328
LOT 62 13,328
LOT 63 13,300
LOT 64 15,970
LOT 65 15,970
LOT 66 15,970
LOT 67 15,970
LOT 68 15,970
LOT 69 15,970
LOT 70 15,970
LOT 71 15,970
LOT 72 15,970
LOT 73 15,970
LOT 74 15,970
LOT 75 15,970
LOT 76 15,970
LOT 77 15,970
LOT 78 15,970
LOT 79 15,970
LOT 80 13,300
LOT 81 15,970
LOT 82 15,970
LOT 83 15,970
LOT 84 15,970
LOT 85 15,970
LOT 86 15,970
LOT 87 15,970
LOT 88 15,970
LOT 89 15,970
LOT 90 15,970
LOT 91 15,970
LOT 92 15,970
LOT 93 15,970
LOT 94 15,970
LOT 95 15,970
LOT 96 15,970
LOT 97 15,970
LOT 98 15,970
LOT 99 15,970
LOT 100 15,970

OUTLET 1
OUTLET 2
OUTLET 3
OUTLET 4

CURVE TABLE								
CURVE NUMBER	LENGTH	RADIUS	DELTA	CHORD DISTANCE	CHORD BEARING	1ST TANGENT	2ND TANGENT	CHORD BEARING
A-B	507.11'	60.00'	293°15'58"	86.00'	N69°59'54"E	S68°37'52"W	N58°38'05"W	
45	26.80'	60.00'	025°05'22"	26.88'	N43°50'24"W			
46	57.31'	60.00'	054°47'05"	53.81'	N03°29'11"W			
47	44.44'	60.00'	042°28'09"	43.43'	N44°37'26"E			
48	44.44'	60.00'	042°26'09"	43.43'	N87°23'26"E			
49	24.82'	60.00'	023°47'47"	24.74'	S09°29'28"E			
50	24.82'	60.00'	023°47'47"	24.74'	S55°41'40"E			
51	24.82'	60.00'	023°47'47"	24.74'	S11°53'53"E			
52	53.88'	60.00'	051°03'01"	52.18'	S25°46'31"W			
53	5.33'	60.00'	0035°04'51"	5.38'	S84°05'28"W			
E-0	307.11'	60.00'	293°16'06"	86.00'	N89°54'03"W	N58°44'02"E	S68°38'06"E	
68	54.38'	60.00'	051°05'36"	52.85'	S03°31'48"E			
70	24.82'	60.00'	023°47'47"	24.74'	S07°18'23"W			
71	24.82'	60.00'	023°47'47"	24.74'	S31°06'10"W			
72	31.50'	60.00'	020°04'38"	31.4'	S69°02'22"W			
74	47.89'	60.00'	045°32'15"	46.44'	N35°26'35"W			
75	76.00'	60.00'	072°24'41"	71.02'	N20°26'21"E			
E-1	OL 26A3	101.35'	153.28'	027°53'02"	99.21'	S17°05'56"W	S01°40'45"E	
F-0	OL 26B3	210.10'	313.11'	035°28'20"	208.18'	N16°30'02"E	N02°23'23"W	
E-4	OL 26C3	452.62'	546.03'	045°45'43"	452.44'	S00°00'21"E	S22°23'23"E	
H-1	OL 3	443.62'	257.63'	056°06'54"	390.85'	N45°26'07"W	S83°45'26"W	
H-2	OL 2	270.14'	257.63'	060°04'42"	257.94'	N27°40'01"W		
B-2	192.28'	257.63'	028°32'11"	170.03'	N78°38'28"W			
I-1	192.28'	112.83'	096°30'31"	198.64'	S47°37'48"E	S00°18'57"W	N33°45'26"E	
I-2	112.28'	164.60'	029°32'21"	111.31'	S19°27'13"E	S00°18'57"W	S09°13'23"E	
L-M	120.87'	176.00'	039°20'51"	118.51'	N85°06'11"E	N85°46'36"E	N45°25'46"E	
M-N	571.33'	524.00'	062°28'44"	543.44'	S45°22'31"W	S85°46'36"W	S23°18'44"W	
O-P	542.89'	174.00'	112°54'15"	290.03'	S33°08'44"E	S33°18'24"W	S89°25'21"E	
90	114.65'	174.00'	037°43'12"	112.49'	S70°44'05"E			
O-R	53.28'	176.00'	077°20'43"	53.08'	N80°55'36"W	N72°15'14"W	N89°25'57"W	
R-5	128.25'	205.28'	035°47'45"	128.18'	S19°22'00"W	S44°52'02"W	S01°31'44"E	
T-U	79.80'	224.00'	020°24'44"	79.28'	N79°23'54"W	N89°11'12"W	N89°35'56"W	
U-V	132.40'	281.11'	029°03'13"	130.99'	N12°08'14"E	N35°29'50"E	N02°23'23"W	
B-9	18.84'	281.11'	003°39'09"	18.64'	N24°50'18"E			
B-8	112.78'	281.11'	025°24'08"	114.02'	N10°18'41"E			
V-W	456.95'	3498.03'	004°45'43"	456.82'	S00°00'21"E	S22°22'20"W	S02°23'23"E	
85	173.66'	3498.03'	021°45'22"	173.05'	S01°29'17"E			
84	151.96'	3498.03'	022°01'18"	153.95'	S00°25'28"W			
W-X	353.93'	205.63'	098°36'34"	311.83'	N45°26'07"W	N22°22'20"E	S83°45'26"W	
83	146.04'	205.63'	040°41'28"	142.89'	N17°38'23"W			
B-7	207.89'	205.63'	057°45'27"	199.13'	N57°16'50"W			
X-Y	515.77'	164.83'	040°34'33"	513.44'	S76°07'17"E	S85°00'01"E	N83°45'26"E	
Y-2	157.22'	224.00'	040°25'33"	154.01'	N85°40'11"E	N85°46'36"E	S23°18'24"W	
Z-AA	518.99'	476.00'	062°28'44"	493.85'	S45°32'31"W	S85°46'36"W	S23°18'24"W	
BB-CC	248.29'	128.00'	112°24'15"	210.02'	S33°08'44"E	S23°18'24"W	S89°25'21"E	

I, HEREBY CERTIFY THAT THIS FOREGOING IS A COPY OF A RESOLUTION ADOPTED BY THE CITY BOARD OF THE CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN.

(SIGNATURE) _____ BREGG GREENE, CITY CLERK.

CERTIFICATE OF CITY TREASURER
STATE OF WISCONSIN, SS
COUNTY OF CHIPPEWA

I, LYNN BAUER, BEING THE DULY APPOINTED, ACTING AND QUALIFIED TREASURER OF THE CITY OF CHIPPEWA, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW UNIMPEDED TAX SALES AND UNPAID SPECIAL ASSESSMENTS AS OF THIS DAY OF _____, 2022, ON ANY OF THE LANDS INCLUDED IN THE PLAT OF PARK WEST II IN THE CITY OF CHIPPEWA FALLS.

(SIGNATURE) _____ LYNN BAUER, CITY TREASURER
DATE _____

CERTIFICATE OF COUNTY TREASURER
STATE OF WISCONSIN, SS
COUNTY OF CHIPPEWA

I, PATRICIA SCHMIDT, BEING THE DULY ELECTED, ACTING AND QUALIFIED TREASURER OF THE COUNTY OF CHIPPEWA, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW UNIMPEDED TAX SALES AND UNPAID SPECIAL ASSESSMENTS AS OF THIS DAY OF _____, 2022, ON ANY OF THE LANDS INCLUDED IN THE PLAT OF PARK WEST II.

(SIGNATURE) _____ PATRICIA SCHMIDT, COUNTY TREASURER
DATE _____

OWNER'S CERTIFICATE OF DESIGNATION: HEREBY HEREBY CERTIFIES THAT IT CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED BY THIS PLAT.

IT IS ALSO CERTIFIED THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:
-----CITY OF CHIPPEWA FALLS
-----DEPARTMENT OF ADMINISTRATION
-----DEPARTMENT OF TRANSPORTATION

WITNESS THE HAND AND SEAL OF SAID OWNER THIS _____ DAY OF _____, 2022.

JAMES G. ROONEY, MEMBER
STATE OF WISCONSIN, SS

PERSONALLY APPEARED BEFORE ME THIS _____ DAY OF _____, 2022, THE ABOVE NAMED JAMES G. ROONEY, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME TO BE THEIR OWN FREE ACT AND DEED.
MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

OWNER'S CERTIFICATE OF DESIGNATION: HEREBY HEREBY CERTIFIES THAT IT CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED BY THIS PLAT.

IT IS ALSO CERTIFIED THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:
-----CITY OF CHIPPEWA FALLS
-----DEPARTMENT OF ADMINISTRATION
-----DEPARTMENT OF TRANSPORTATION

WITNESS THE HAND AND SEAL OF SAID OWNER THIS _____ DAY OF _____, 2022.

JAMES G. ROONEY, MEMBER
STATE OF WISCONSIN, SS

PERSONALLY APPEARED BEFORE ME THIS _____ DAY OF _____, 2022, THE ABOVE NAMED JAMES G. ROONEY, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME TO BE THEIR OWN FREE ACT AND DEED.
MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

CONSENT OF COOPERATIVE MORTGAGEE.

CHATEAU BANK, A CORPORATION ONLY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, MORTGAGEE OF PART OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE SURVEYING, DIVISION, MAPPING AND DEDICATION OF THE LAND DESCRIBED ON THIS PLAT OF PARK WEST II AND DOES HEREBY CONSENT TO THE ABOVE CERTIFICATE OF APPROVED INSTRUMENTS, LLC OWNERS OF SAID LAND.

IN WITNESS WHEREOF, THE SAID CHATEAU BANK HAS CAUSED THESE PRESENTS TO BE SIGNED BY:

(PRINT NAME) _____ AND (PRINT NAME) _____

A.T. _____ WISCONSIN AND ITS CORPORATE SEAL TO BE HEREIN AFFIXED

THIS _____ DAY OF _____, 2022

(SIGNATURE) _____ (SIGNATURE) _____

STATE OF WISCONSIN, SS (104) _____ (106) _____

COUNTY OF _____ SS

PERSONALLY APPEARED BEFORE ME THIS _____ DAY OF _____, 2022, THE ABOVE NAMED (PRINT NAME) _____ AND (PRINT NAME) _____ TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME TO BE THEIR OWN FREE ACT AND DEED.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

This map is subject to the plat with respect to which the same is filed in the office of the Register of Deeds for the County of _____, Wisconsin. The State is provided by a 2012-12-12-12-12-12.

Certified _____

Department of Administration

PARK WEST II
IN THE NW1/4 OF THE NW1/4 AND NE1/4 OF THE NW1/4,
SECTION 20, T18N, R15W,
CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN
INCLUDING ALL OF LOTS 1 AND 2 OF CDN NO. 5446, A, 28 P. 206-208

CITY OF CHIPPEWA FALLS TWIN HOME CONSTRUCTION REQUIREMENTS AND STANDARDS

The Twin Home is intended to provide for development of zero lot line twin home development. Ownership of each unit will be on separate deeds. Compliance with State of Wisconsin one {1} and two {2} family Uniform Dwelling Code for attached units is required.

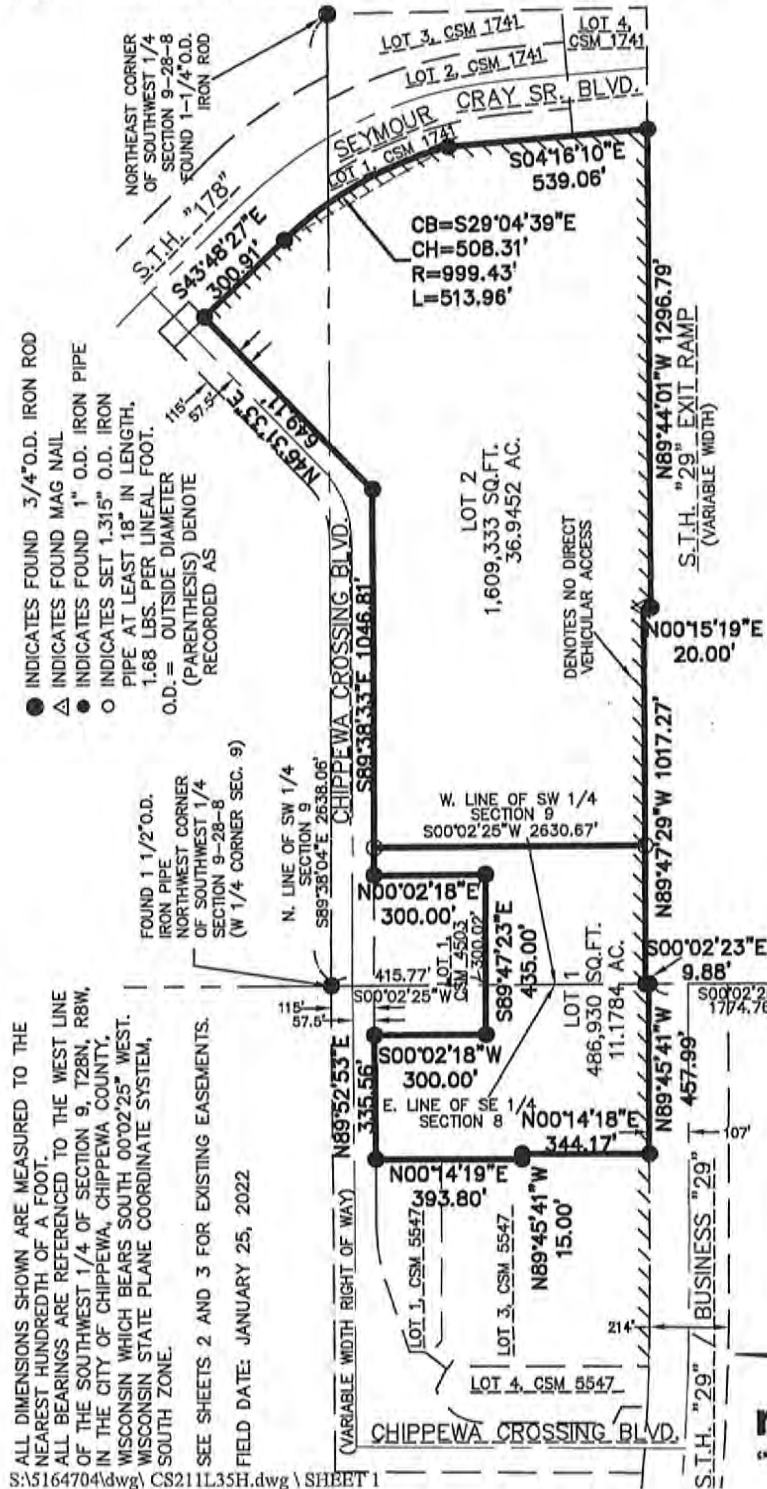
- A. The plans specification and construction shall require the installation and construction of separate sewer, water and other utility services to each twin home dwelling.
- B. Both lots containing attached twin home dwellings shall be held under the same ownership until the completion of construction of the twin home dwellings.
- C. A maintenance agreement (party wall agreement), approved by the City Zoning Administrator, shall be entered into by the owners of the attached twin home dwelling in order to ensure that equal and reasonable maintenance and repairs are performed on the attached twin home dwellings. Alternatively, provisions for maintenance of common walls may be incorporated into applicable covenants to be reviewed and approved by the City. Such agreements or covenants shall be recorded in the Chippewa County Register of Deeds.
- D. Easements necessary for water, sewer and utility services and the maintenance agreement shall be recorded with the Chippewa County Register of Deeds prior to occupancy.
- E. The exterior (such as siding), and roof materials on each attached twin home dwelling shall be the same color, quality and consistency.
- F. A joint or attached driveway serving the attached twin home dwelling is permitted provided covenants addressing the maintenance of such driveways are in a form approved by the Department.
- G. A statement shall be placed on the face of all Twin Home plats creating twin home dwelling lots stating; "When two attached, single family dwelling units are created, matters of mutual concern to the adjacent property owners, due to construction, catastrophe and/or maintenance, shall be guarded against by private agreements, covenants and deed restrictions and the City of Chippewa Falls shall not be responsible for the same."

Community	Permitted	Conditional	Min Lot Area(sf)
River Falls	R-1 Single Family Low-Density	no more than 2 in a row unless PUD	7500 for new lots, 5,000 sf -exist Lots of Record
	R-2 Multi-Family		7500 for new lots, 5,000 sf -exist Lots of Record
	R-3 Multi-Family (High Density)		
Stoughton	TR-6 Two Family District		5000 sf/lot
Altoona	Twin Home District		4500 sf/lot
	Two-Family Residential		3000 sf/lot
	Multi-Family Residential 12		
Marshfield	Multi-Family Residential 24		
	Mixed-Use		
	R-4 Twin Home		6500 sf/lot
Whitewater	R-2 One and Two-Family District		8000 sf/lot
Chippewa County	R-2 Twin Home District		10,000 sf/lot
	R - One and Two Family District	Zero lot line duplexes	
Eau Claire	R-2 One and Two Family District		6000 sf/lot
	R-2 Two-Family District		5,000 sf/lot
	R-T Transitional		
Hudson	RM-1, 3 and 4		
	R-4 Single and Two Family		10,000 sf/lot
	R-6 Multi-Family		8000 sf/lot
Plover	R-7 Multi-Family		
	R-3 Single and Two Family District		5,000 sf/lot
	R-4 MF		4000 sf/lot
Stevens Point	R-5 MF		4000 sf/lot
	N/A	Conditional Use - R-2 Two Family	4,000 sf/lot
	R-2 Low-Medium Density Residential		3850 sf/lot
Beaver Dam	R-3 Medium-Density Residential		3850 sf/lot
	Mixed Use Neighborhood		
	CUP: R-1A Single Family		8,500 sf/lot
Baraboo	Conditional: R-2 Two Family		8,500 sf/lot
	CUP: R-3 3 and 4 Family District		8,500 sf/lot
	2F Two Family		10,000 SF/lot
Weston	MF Multi Family		Varies
	R-3 Multi-Family Medium Density		5,000 sf/lot
	R-4 High Density Residential		5,000 sf/lot
Fox Crossing	R-3 Multi-Family Medium Density		5,000 sf/lot
	R-4 High Density Residential		5,000 sf/lot
	None	PDD	
Superior	None	PDD	
	None	PDD	
	R-2 Two Family Residential		7,500 sf/lot

Bellevue	R-3 Multi-Family Residential	7,500 sf/lot
Wausau	Duplex Residential & Zoning District	9600 sf/lot
	Townhome Residential-12 District	9600 sf/lot
	Multi-Family Residential-12 District	9600 sf/lot
	R-6 Zero Lot Line Two Family District	6,000 sf/lot
Holmen	R-4 Two Family District	6,000 sf/lot

CERTIFIED SURVEY MAP NO. _____

A redivision of Lot 2 of Certified Survey Map No. 5547, recorded in Volume 27 of CSM's on pages 144-151 as Document number 929502, being part of the Southeast 1/4 of the Northwest 1/4 of Section 9, part of the Northeast 1/4 of the Southwest 1/4 and the Northwest 1/4 of the Southwest 1/4 of Section 9, and part of the Northeast 1/4 of the Southeast 1/4 of Section 8, all in Township 28 North, Range 8 West, in the City of Chippewa Falls, Chippewa County, Wisconsin.

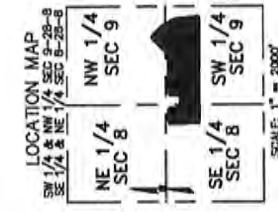


- INDICATES FOUND 3/4" O.D. IRON ROD
- ▲ INDICATES FOUND MAG NAIL
- △ INDICATES FOUND 1" O.D. IRON PIPE
- INDICATES SET 1.315" O.D. IRON PIPE AT LEAST 18" IN LENGTH, 1.68 LBS. PER LINEAL FOOT.
- O.D. = OUTSIDE DIAMETER (PARENTHESIS) DENOTE RECORDED AS

ALL DIMENSIONS SHOWN ARE MEASURED TO THE NEAREST HUNDRETH OF A FOOT.
 ALL BEARINGS ARE REFERENCED TO THE WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 9, T28N, R8W, IN THE CITY OF CHIPPEWA, CHIPPEWA COUNTY, WISCONSIN WHICH BEARS SOUTH 00°02'25" WEST, WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.
 SEE SHEETS 2 AND 3 FOR EXISTING EASEMENTS.
 FIELD DATE: JANUARY 25, 2022



REVISED MARCH 9, 2022

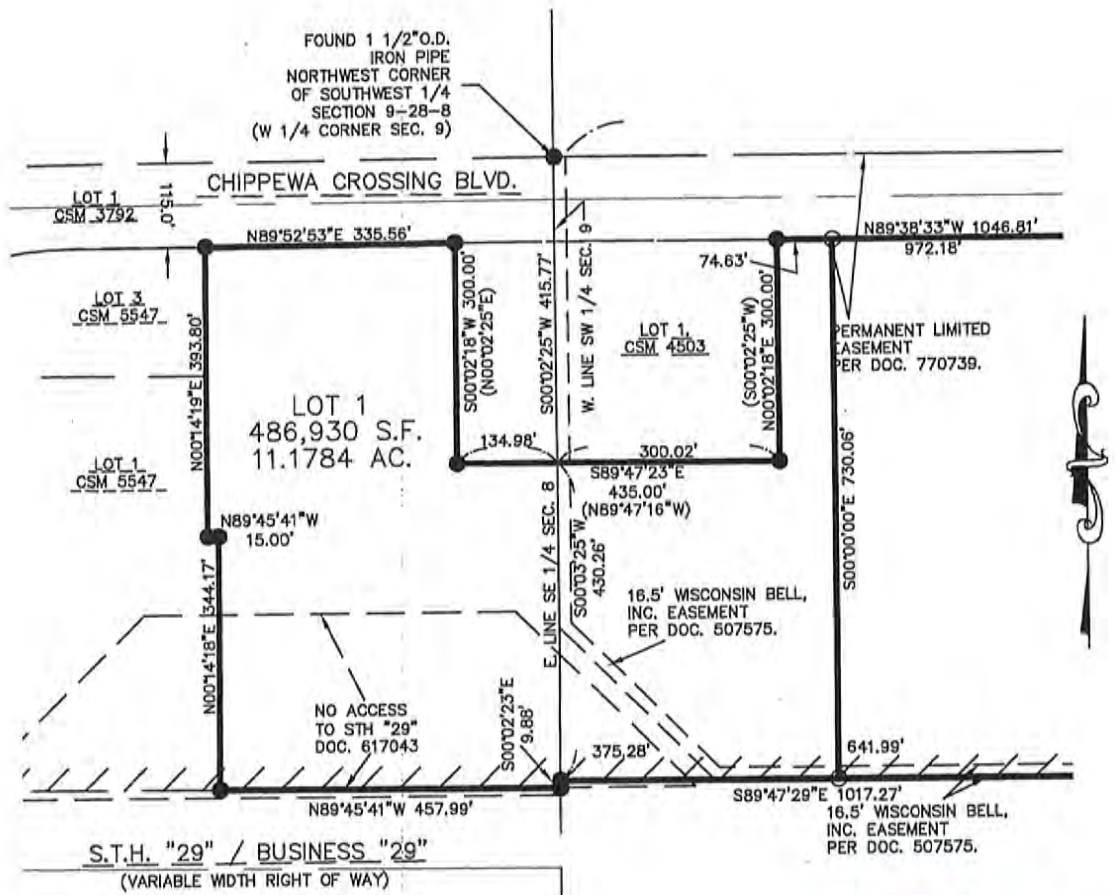


16745 W. Blummond Road
 Brookfield, WI 53005-5936
 (262) 781-1000
 raSmith.com

Sheet 1 of 8 Sheets

CERTIFIED SURVEY MAP NO. _____

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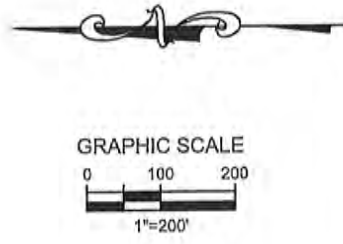
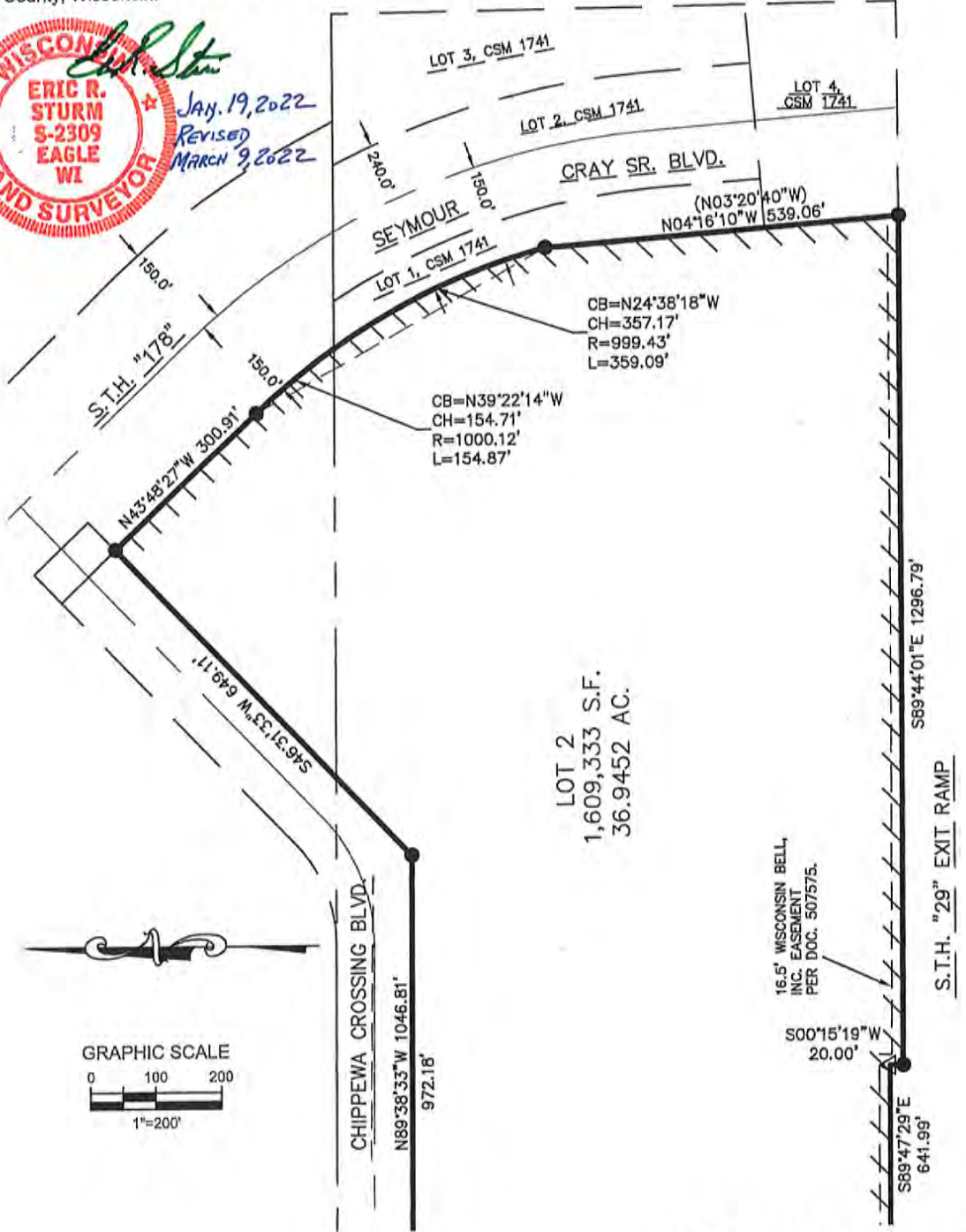
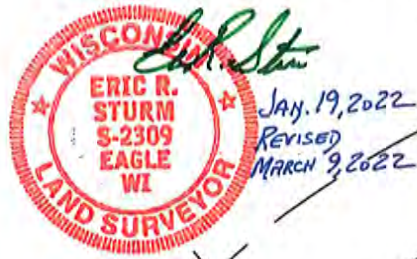


JAN. 19, 2022
REVISED MARCH 9, 2022

raSmith 16745 W. Harwood Road
Brookfield, WI 53005-5938
(262) 791-1000
raSmith.com

CERTIFIED SURVEY MAP NO. _____

A redivision of Lot 2 of Certified Survey Map No. 5547, recorded in Volume 27 of CSM's on pages 144-151 as Document number 929502, being part of the Southeast 1/4 of the Northwest 1/4 of Section 9, part of the Northeast 1/4 of the Southwest 1/4 and the Northwest 1/4 of the Southwest 1/4 of Section 9, and part of the Northeast 1/4 of the Southeast 1/4 of Section 8, all in Township 28 North, Range 8 West, in the City of Chippewa Falls, Chippewa County, Wisconsin.



raSmith
 CREATIVITY BEYOND ENGINEERING
 14745 W. Bluffwood Road
 Brookfield, WI 53008-3938
 (262) 761-1000
 rasmith.com

CERTIFIED SURVEY MAP NO. _____

A redivision of Lot 2 of Certified Survey Map No. 5547, recorded in Volume 27 of CSM's on pages 144-151 as Document number 929502, being part of the Southeast 1/4 of the Northwest 1/4 of Section 9, part of the Northeast 1/4 of the Southwest 1/4 and the Northwest 1/4 of the Southwest 1/4 of Section 9, and part of the Northeast 1/4 of the Southeast 1/4 of Section 8, all in Township 28 North, Range 8 West, in the City of Chippewa Falls, Chippewa County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN }
 :SS
WAUKESHA COUNTY }

I, ERIC R. STURM, Professional Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped a redivision of Lot 2 of Certified Survey Map No. 5547, recorded in Volume 27 of CSM's on pages 144-151 as Document number 929502, being part of the Southeast 1/4 of the Northwest 1/4 of Section 9, part of the Northeast 1/4 of the Southwest 1/4 and the Northwest 1/4 of the Southwest 1/4 of Section 9, and part of the Northeast 1/4 of the Southeast 1/4 of Section 8, all in Township 28 North, Range 8 West, in the City of Chippewa Falls, Chippewa County, Wisconsin, which is bounded and described as follows:

COMMENCING at the Northwest corner of the Southwest 1/4 of said Section 9; thence South 00°02'25" West along the West line of said Southwest 1/4 Section 415.77 feet to a point on the South line of Lot 1 of Certified Survey Map No. 4503 and the point of beginning; thence South 89°47'23" East along said South line 300.02 feet to the Southeast corner of said Lot 1; thence North 00°02'18" East along the East line of said Lot 1, a distance of 300.00 feet to the Northeast corner of said Lot 1, and the South line of Chippewa Crossing Boulevard; thence South 89°38'33" East along said South line 1046.81 feet to a point; thence North 46°31'33" East along said South line 649.11 feet to a point on the South line of State Highway "178"; thence South 43°48'27" East along said South line 300.91 feet to a point; thence Southeasterly 513.96 feet along the arc of a curve, whose center lies to the West, whose radius is 999.43 feet, and whose chord bears South 29°04'39" East 508.31 feet to a point; thence South 04°16'10" East along the West line of Seymour Cray SR. Boulevard 539.06 feet to the Southwest corner of Lot 4 of Certified Survey Map No. 1741; thence North 89°44'01" West along the North line of State Highway "29" Exit Ramp 1296.79 feet to a point; thence North 00°15'19" East 20.00 feet to a point; thence North 89°47'29" West along the North line of State Highway "29" (also known as Business "29") 1017.27 feet to a point; thence South 00°02'23" East 9.88 feet to a point; thence North 89°45'41" West along said North line 457.99 feet to the Southeast corner of Lot 3 of Certified Survey Map No. 5547; thence North 00°14'18" East along the East line of said Lot 3, a distance of 344.17 feet to a point; thence North 89°45'41" West 15.00 feet to a point; thence North 00°14'19" East along the East line of Lot 3 and Lot 1 in Certified Survey Map No. 5547 for a distance of 393.80 feet to the Northeast corner of said Lot 3; thence North 89°52'53" East along the South line of Chippewa Crossing Boulevard 335.56 feet to the Northwest corner of Lot 1 of Certified Survey Map No. 4503; thence South 00°02'18" West along the West line of said Lot 1, a distance of 300.00 feet to the Southwest corner of said Lot 1; thence South 89°47'23" East along the South line of said Lot 1, a distance of 134.98 feet to the point of beginning.

Said Lands contain 2,096,264 sq.ft. or 48.1236 ac.



JAN. 19, 2022
REVISED MARCH 9, 2022

CERTIFIED SURVEY MAP NO. _____

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SURVEYOR'S CERTIFICATE (continued)

THAT I have made the survey, land division and map by the direction of SMW Chippewa Falls, LLC, TD Chippewa Falls, LLC, WW Chippewa Falls, LLC, and Chippewa Crossing Partners, LLC, owners.

THAT the map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT this survey was prepared under my supervision and is correct to the best of my professional knowledge and belief and complies with Chapter AE-7 of the Wisconsin Administrative Code.

THAT I have fully complied with Chapter 236 of the Wisconsin Statutes and Chapter 14 of the City of Chippewa Falls Municipal Code in surveying, dividing and mapping the same.

DATE January 19, 2022
REVISED
MARCH 9, 2022



Eric R. Sturm (SEAL)
ERIC R. STURM
PROFESSIONAL LAND SURVEYOR S-2309

CITY OF CHIPPEWA FALLS APPROVAL CERTIFICATE

This Certified Survey Map is Approved by the Common Council of the City of Chippewa Falls this _____ day of _____ 202__.

Greg Hoffman, Mayor

Date:

Bridget Givens, City Clerk

Date:

CERTIFIED SURVEY MAP NO. _____

A redivision of Lot 2 of Certified Survey Map No. 5547, recorded in Volume 27 of CSM's on pages 144-151 as Document number 929502, being part of the Southeast 1/4 of the Northwest 1/4 of Section 9, part of the Northeast 1/4 of the Southwest 1/4 and the Northwest 1/4 of the Southwest 1/4 of Section 9, and part of the Northeast 1/4 of the Southeast 1/4 of Section 8, all in Township 28 North, Range 8 West, in the City of Chippewa Falls, Chippewa County, Wisconsin.

OWNER'S CERTIFICATE

SMW Chippewa Falls, LLC, TD Chippewa Falls, LLC, and WW Chippewa Falls, LLC, limited liability companies duly organized and existing under and by virtue of the laws of the State of _____, on behalf of all owners, certify that said limited liability company caused the land described on this map to the surveyed, divided, and mapped as represented on this map.

SMW Chippewa Falls, LLC, TD Chippewa Falls, LLC, and WW Chippewa Falls, LLC, does further certify that this map is required by S.236.10 or 236.12 to be submitted to the following for approval or objection: City of Chippewa Falls

IN Witness Whereof, _____, has caused these presents to be signed by _____, its _____, at _____, this _____ day of _____, 202____.

SMW Chippewa Falls, LLC
 TD Chippewa Falls, LLC
 WW Chippewa Falls, LLC

on behalf of all ownership entities above

By: Stewart M. Wangard, Member

STATE OF _____ }
 _____ COUNTY } :SS

PERSONALLY came before me this _____ day of _____, 202____, _____ of the above named corporation, to me known as the person who executed the foregoing instrument, and to me known to be such Member of the corporation, and acknowledged that he/she executed the foregoing instrument as such officer, by its authority.

_____(SEAL)
 Notary Public, State of _____
 My commission expires _____
 My commission is permanent.



Jan. 19, 2022
REVISED MARCH 9, 2022

CERTIFIED SURVEY MAP NO. _____

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OWNER'S CERTIFICATE

Chippewa Crossing Partners, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of _____, on behalf of all owners, certify that said limited liability company caused the land described on this map to be surveyed, divided, and mapped as represented on this map.

Chippewa Crossing Partners, LLC, does further certify that this map is required by S.236.10 or 236.12 to be submitted to the following for approval or objection: City of Chippewa Falls

IN Witness Whereof, _____, has caused these presents to be signed by _____, its _____, at _____, _____, this _____ day of _____, 202__.

Chippewa Crossing Partners, LLC

By: Deborah A. Bernhardt, attorney-in-fact
for John Bernhardt, Member

STATE OF _____ }
 } :SS
_____ COUNTY } }

PERSONALLY came before me this _____ day of _____, 202__, _____ of the above named corporation, to me known as the person who executed the foregoing instrument, and to me known to be such Member of the corporation, and acknowledged that he/she executed the foregoing instrument as such officer, by its authority.

(SEAL)
Notary Public, State of _____
My commission expires _____
My commission is permanent.



CERTIFIED SURVEY MAP NO. _____

A redivision of Lot 2 of Certified Survey Map No. 5547, recorded in Volume 27 of CSM's on pages 144-151 as Document number 929502, being part of the Southeast 1/4 of the Northwest 1/4 of Section 9, part of the Northeast 1/4 of the Southwest 1/4 and the Northwest 1/4 of the Southwest 1/4 of Section 9, and part of the Northeast 1/4 of the Southeast 1/4 of Section 8, all in Township 28 North, Range 8 West, in the City of Chippewa Falls, Chippewa County, Wisconsin.

CONSENT OF CORPORATE MORTGAGEE

_____, a _____, mortgagee of that portion of the above-described land identified in this Certified Survey Map, does hereby consent to the surveying, dividing and mapping of the land described in the foregoing affidavit of ERIC R. STURM, Surveyor, and does hereby consent to the certificate of said owner.

In witness whereof, the said _____, has caused these presents to be signed by _____, its _____, and by _____, its _____, at _____, and _____, its corporate seal to be hereunto affixed.
 this ___ day of _____, 202__.

STATE OF _____ }
 :SS
 COUNTY OF _____ }

PERSONALLY came before me this _____ day of _____, 202__, _____ and _____ of the
 (name) (title) (name) (title)

above named organization, to me known as the person(s) who executed the foregoing instrument, and to me known to be the _____ and the _____ of the organization, and acknowledged that they executed the foregoing instrument as such officer(s) as the deed of the organization, by its authority.

_____(SEAL)
 Notary Public, State of _____
 My commission expires _____



JAN. 19, 2022
REVISED MARCH 9, 2022

THIS INSTRUMENT WAS DRAFTED BY ERIC R. STURM,
 PROFESSIONAL LAND SURVEYOR S-2309

Date Filed: April 4, 2022

Fee Paid: _____ Date: _____ TR#: _____

Fee Paid: _____ Date: _____ TR#: _____

PETITION FOR A CONDITIONAL USE PERMIT

TO THE CITY OF CHIPPEWA FALLS, WISCONSIN:

I/We, the undersigned, hereby petition the Plan Commission of the City of Chippewa Falls, WI, for a Conditional Use Permit as authorized by the Chippewa Falls Zoning Code, Section 17.47, for the following described property:

Address of Property: No address at this time

Lot#: 6 Block#: 3 Subdivision: Lake Wissota Business Park-First Addition

Parcel#: 22908-3313-66430306

Legal Description: Lot 6, Block 3, Plat of Lake Wissota Business Park-First Addition, City of Chippewa Falls, Chippewa County, Wisconsin

Zoning classification of property: O-2, Office and Institutional – See included City Zoning Map

Purpose for which this Permit is being requested: To construct a new two-tenant building and site for a financial institution and a coffee shop. The proposed design has two (2) drive-through – one serving each tenant. The proposed site design is non-conforming as it does not meet the requirements for parking setback for O-2 zoning. Also in an effort to reduce driveways into County Highway I, Chippewa County (the property developer) has encouraged the use of a shared access driveway for Lot 6 and Lot 5.

Existing use of property within 300 feet of subject property: (List or attach map)
O-2, Office and Institutional and P-1, Public – See included City Zoning Map.

Recite any facts indicating that the proposed use will not be detrimental to the general public's interest, the purposes of this Chapter and the general area in which it is located: The proposed building and site will develop a piece of property in a responsible manner while providing two useful business to serve the surrounding area. The stormwater management has been designed using minimal impact design standards (MIDS). The drive-throughs have

been designed with ample stacking – 15 vehicles for the coffee drive-through and 10 vehicles for the financial drive-through. At the request of the developer, the building parking aligns with the southern property line to bring the building closer to the community trail that is parallel to Highway I.

Operational plans of the proposed use:

Hours of Operation: Coffee – 6am – 4p M-F; 6:30a-4p Sat & Sun; Bank: 8a-5:30p M-F; 8a-12p Sat

Days of Operation: Monday – Sunday, All days

Number of Employees: Coffee, 1; Bank 2
Part-time

Coffee: 1; Bank 4
Full-time

Capacity:

Number of Units: N/A – Two business, coffee and financial

Size: 5,800 Sq. Ft.

Number of Residents/Children: N/A

Ages: N/A

Other: Occupant load as calculated by the city standards for parking is 43

Building plans:

Existing buildings: N/A

Proposed buildings: One (1) building, two (2) tenants

Use of part of building: Group B, Business and Group S-1, Storage

Proposed additions: N/A

Future additions: N/A

Change in use: N/A

Outside appearance: Brick and stone building with gable/ peak roof covered in asphalt shingles

Number of buildings: One (1) new proposed building, two (2) tenants

Planting & Landscaping:

Type: Sod and rock groundcovering. Plantings, including native tree and plant species

Timetable: Proposed construction would begin late Spring/ Early summer depedant on permitting timetables.

Screening:

Type: Plantings, trash enclosure to match the building construction.

Fences: N/A – none proposed

Type: _____

Height: _____

Location: _____

Earth Bank:

Planting: See proposed landscape plan

Maintenance: Proposed professional maintenance, including mowing of sod, and maintenance of plantings and trees. Sod and planning will have an irrigation system

Other: _____

Lights:

Number of lights: 12 light poles, 9 wall packs plus under canopy lighting.

Location: See drawings

Hours: Dusk to dawn – required for financial drive-through and parking lot safety.

Type: Light poles, building mounted lighting and canopy lighting

Signs:

Type: Proposed monument sign and pylon sign with message center

Lighted: Yes/ internal illumination

Size: See drawings, signage will be permitted separately by tenant's signage vendors

Location: Monument sign – 16 ft. from closest driveway; Pylon sign 20' from ROW; 30 ft + from roadway

Setbacks: See drawings

Drives:

Number of: Two (2)

Location: One on Lakeland Drive and one shared access on County Highway I that will be shared with Lot 5

Width: 25 ft.

Parking:

Number of stalls: 44 provided including 2 for trailer parking on west property line

Location of stalls: South and west of the building, see drawings

Setbacks: 0 ft proposed on south property line (Hwy I) and 5 ft west property line

Surfacing: Bituminous paving – see civil drawings for paving section

Screening: Plantings are provided but not to screen parking

Drainage:

Storm sewer: Yes, self-contained on site

Rock beds: Yes, in parking areas and around rear of building

Detention pond: No, see included civil drawings for stormwater management

Retention pond: Yes, see included civil drawings for stormwater management

Submit site plan showing property line, buildings and other structures.

List any additional information being submitted with this permit application: Site plans including civil drawings showing grading and stormwater management, floor plans, colored exterior elevations, 3D exterior renderings, preliminary signage designs. Also included are the ALTA surveys for the development and parcel as well as the City's zoning map illustrating the property uses within 300 ft.

IN ORDER FOR THIS PETITION TO BE CONSIDERED, THE OWNER(S) OF THE PROPERTY MUST SIGN BELOW:

Owner(s)/Address(es):



Peter Hoeft, Owner
Southside Holdings LLC
1450 Rivers Edge Trail, Suite A
Altoona WI, 54720
Phone #: (715) 833-1761
Email: peter@hoeftbuilders.com

Petitioner(s)/Address(es):



Josh Longo, Sr. Project Manager
HTG Architects
1010 Mainstreet, Suite 100
Hopkins, MN 55343
Phone #: (952) 204-3249
Email: jlongo@htg-architects.com

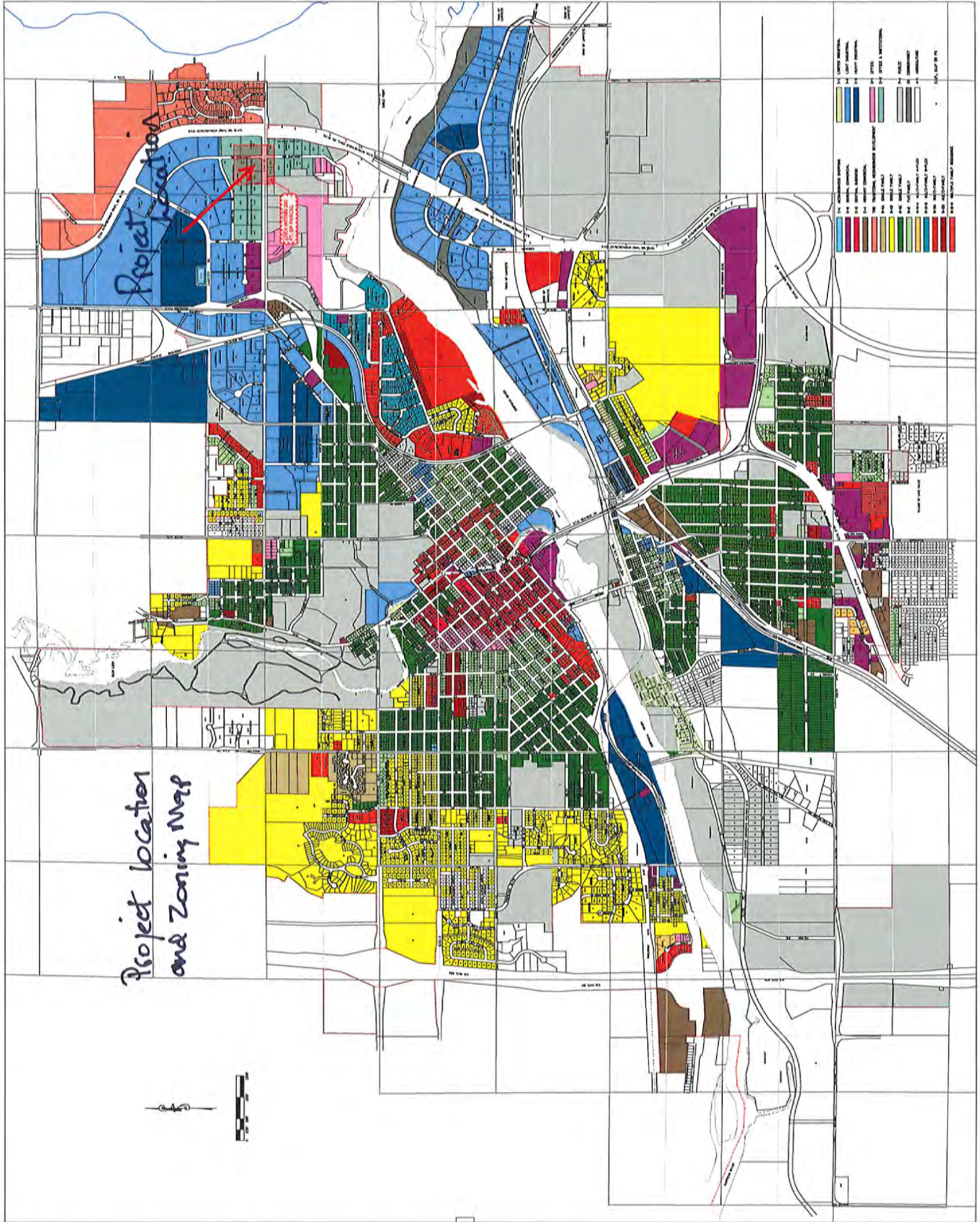
Project location
and Zoning Map

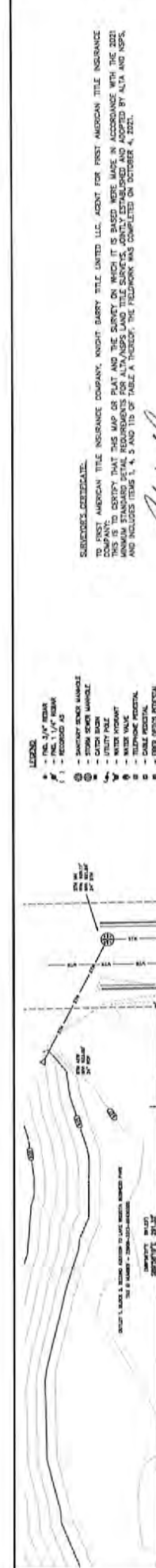


Project location

A red arrow points from the handwritten text to a specific area on the map.

- | | |
|-------------------------------|-------------------------|
| 1. UNDEVELOPED LAND | 11. COMMERCIAL GENERAL |
| 2. LIGHT INDUSTRIAL | 12. COMMERCIAL OFFICE |
| 3. HEAVY INDUSTRIAL | 13. OFFICE |
| 4. MEDIUM-DENSITY RESIDENTIAL | 14. OFFICE & RECREATION |
| 5. SINGLE-FAMILY RESIDENTIAL | 15. PARK |
| 6. SINGLE-FAMILY RESIDENTIAL | 16. PARKWAY |
| 7. SINGLE-FAMILY RESIDENTIAL | 17. PARKWAY |
| 8. SINGLE-FAMILY RESIDENTIAL | 18. PARKWAY |
| 9. SINGLE-FAMILY RESIDENTIAL | 19. PARKWAY |
| 10. SINGLE-FAMILY RESIDENTIAL | 20. PARKWAY |





LEGEND

▲	1/4" IRON NAIL
●	1/2" IRON NAIL
○	3/4" IRON NAIL
□	1" IRON NAIL
+	2" IRON NAIL
⊙	3" IRON NAIL
⊞	4" IRON NAIL
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⊿	84" IRON NAIL
⊿	86" IRON NAIL
⊿	88" IRON NAIL
⊿	90" IRON NAIL
⊿	92" IRON NAIL
⊿	94" IRON NAIL
⊿	96" IRON NAIL
⊿	98" IRON NAIL
⊿	100" IRON NAIL

PETER B. SHAWMANN, P.E., 2024 DATED THIS 28th DAY OF OCTOBER, 2021

LEGAL DESCRIPTION

LOT 6, BLOCK 3, PLAT OF LAKE WISCONSIA BUSINESS PARK—FIRST ADDITION, CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN, (FROM TITLE COMMITMENT WRITTEN BY KNIGHT BARRY TITLE UNITED LLC WITH A FILE # 2021798 AND REVISED ON OCTOBER 11, 2021)

- 11. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND OTHER MATTERS CONTAINED IN WARRANTY DEED RECORDED ON OCTOBER 11, 2021 (VOLUME 24 OF DEEDS ON PAGE 193 AS DOCUMENT NO. 2021030161) SHALL APPLY TO THIS PARCEL AND SHALL BE CONSIDERED A PART OF THIS DOCUMENT.
- 12. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND OTHER MATTERS CONTAINED IN AGREEMENT RECORDED ON JUNE 4, 1987 IN VOLUME 3 OF MISCELLANEOUS RECORDS ON PAGE 390 AS DOCUMENT NO. 8701421 SHALL APPLY TO THIS PARCEL AND SHALL BE CONSIDERED A PART OF THIS DOCUMENT.
- 13. A PORTION OF THE RIGHT OF WAY AND EASEMENTS CONTAINED IN THIS DOCUMENT ARE CONTAINED IN CROSS OR A PART OF THE SUBJECT PROPERTY.
- 14. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND OTHER MATTERS CONTAINED IN EASEMENT DEED RECORDED ON JUNE 29, 2011 IN VOLUME 15 OF DEEDS ON PAGE 34 AS DOCUMENT NO. 110900 SHALL APPLY TO THIS PARCEL AND SHALL BE CONSIDERED A PART OF THIS DOCUMENT.
- 15. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND OTHER MATTERS CONTAINED IN RESOLUTION NO. 24-78 RECORDED ON MARCH 21, 1978 AS DOCUMENT NO. 2070044 SHALL APPLY TO THIS PARCEL AND SHALL BE CONSIDERED A PART OF THIS DOCUMENT.
- 16. EASEMENTS, RESTRICTIONS AND OTHER MATTERS SHOWN ON THE PLAT OF LAKE WISCONSIA BUSINESS PARK - FIRST ADDITION.
- 17. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND OTHER MATTERS CONTAINED IN LAKE WISCONSIA BUSINESS PARK DEED READING FRUIT AND SON STEWARDS ARE SHOWN. OTHER MATTERS ARE BLANKET.

NOTES:

- UTILITY LOCATIONS ARE FROM VISIBLE STRUCTURES AND MARKING BY MEMBERS OF DICKENS HOTLINE TICKET #2021 1402265
- VERTICAL ELEVATION INFORMATION IS FROM A GROUND SURVEY. THE CONTOUR INTERVAL IS 1 FOOT WITH THE DATUM BEING NA83.



SCALE: 1" = 30'

ALTA/ACSM LAND TITLE SURVEY
 BEING ALL OF LOT 6, BLOCK 3,
 LAKE WISCONSIA BUSINESS PARK—FIRST ADDITION
 SECTION 33, TOWNSHIP 29 NORTH, RANGE 8 WEST,
 CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN
 REAL LAND SURVEYING
 1350 INTERNATIONAL DRIVE
 EAU CLAIRE, WISCONSIN 54601
 (715) 514-4115
 FIELD WORK WAS COMPLETED ON OCTOBER 19, 2021
 DATE: 10/28/2021
 JOB No. 2108 LAD
 FOR: KNIGHT BARRY



www.htg-architects.com
 Milwaukee
 5300 Hennepin Town Road
 Minneapolis, MN 55347
 Tel: 952.278.8040
 Fax: 952.278.8822

PROJECT

CHIPPEWA
 FINANCIAL
 AND COFFEE

LOT 6 BLOCK 3
 LAKE WISCONSINA
 BUSINESS PARK

ISSUED SET	
REVISIONS	
DATE	NO.



ADVANCED ENGINEERING CONCEPTS
 1360 INTERNATIONAL DR. SUITE #1
 EAU CLAIRE, WI 54701
 PHONE: 715-833-0330
 FAX: 715-833-0330
 COPYRIGHT 2022 AEC, LLC

TITLE SHEET

DRAW BY: CHECK BY:

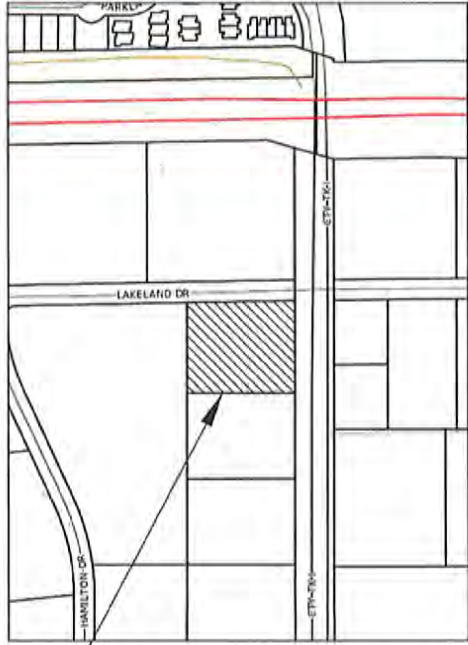
C100

AEC PROJECT ACTION
 COPYRIGHT © BY HTG
 ARCHITECTS

LEGEND

EXISTING	PROPOSED

ABBREVIATIONS:																													
BLK=BACK OF CURB	BTM=BLOCK NUMBER	BOT=BOTTOM (ELEV)	CL=CONCRETE SLAB	CLS=CONCRETE STAIR	ELEV=ELEVATION	EDP=EDGE OF PAVEMENT	EM=EXISTING END SECTION	FF=FINISHED FLOOR (ELEV)	FL=FLOWLINE (ELEV)	GF=GARAGE FLOOR (ELEV)	GLP=GROUND LINE (GROUND)	INV=INVERT	LP=LINEAR FEET	LP=LOOKOUT STYLE HOME	MIN=MINIMUM	NML=NORMAL WATER LEVEL	PC=POINT OF CURVE	PIC=POINT OF CURVE INTERSECTION	PT=POINT OF TANGENCY	RAD=RADIUS	RT=RIGHT	R/W=RIGHT OF WAY	SP=SPOT ELEVATION	STA=STATION	STM=STORM SEWER	TYP=TYPICAL	WA=WATER	WB=WATERMAN	WB=LOOKOUT STYLE HOME



CHIPPEWA FINANCIAL
 AND COFFEE
 HOEFT BUILDERS
 LOT 6 - LAKE WISSOTA BUSINESS PARK
 CHIPPEWA FALLS, WI 54729



Know what's below.
 Call before you dig.

PROJECT LOCATION

CONTACTS	
CITY ENGINEER	CHIPPEWA FALLS CITY ENGINEER ATTN: RICK RUBENZER (715) 726-2736
ASSISTANT CITY ENGINEER	CHIPPEWA FALLS ASSISTANT CITY ENGINEER ATTN: BILL WIELROY (715) 726-2728
ELECTRIC	XCEL ENERGY: DESIGN SECTION ATTN: DAVID MELISSNES (715) 737-1495
TELEPHONE	AT&T: KEN SCHICK (715) 839-5820
O&S	XCEL ENERGY: DESIGN SECTION ATTN: MELISSA EWINGS (715) 271-6883
FIRE DEPT.	CITY OF CHIPPEWA FALLS CHIEF: LEE DOUGLAS (715) 723-5710
CITY PLANNING	CHIPPEWA FALLS CITY PLANNER ATTN: BRAD HENTSONEL (715) 726-2729
INSPECTOR & ZONING ADMIN	CHIPPEWA FALLS CITY INSPECTOR/ZONING ADMINISTRATOR ATTN: PAUL LASEWICZ (715) 726-2752

SHEET NO.	DESCRIPTION
C100	TITLE SHEET
C200	EXISTING CONDITIONS & DEMOLITION PLAN
C300	SITE PLAN
C400-C401	GRADING PLAN
C500	EROSION CONTROL PLAN
C600	UTILITY PLAN
C700-C701	DETAILS

SHEET SCHEDULE

AEC PROJECT #: 21124 PLANS DATED: MARCH 2022
 ADVANCED ENGINEERING CONCEPTS
 1360 INTERNATIONAL DR. SUITE #1
 EAU CLAIRE, WI 54701
 PH 715-552-0330
 INFO@AEC-ENGINEERING.COM
 COPYRIGHT 2022, AEC LLC.



SCHEDULE OF REQUIRED PERMITS	APPROVALS NEEDED	DATE SUBMITTED	APPROVAL
CITY OF CHIPPEWA FALLS SITE PLAN SUBMITTAL			
WIDNR - WRAPP PERMIT (ND)			
DSPS - EXTERIOR PLUMBING REVIEW			

PROJECT DEVELOPER / CLIENT:	HOEFT BUILDERS 1450 RIVIERE EDGE TRAIL, SUITE A ALTONNA, WI 54720 PHONE: 715.833.1761 EMAIL: hrb@aehoeftbuilders.com
PROJECT ARCHITECT:	HTG ARCHITECTS ATTN: JOSH LONGO 1360 INTERNATIONAL DRIVE, SUITE 100 EAU CLAIRE, WI 54543 PHONE: 952.278.3249 EMAIL: jonsa@htg-architects.com
PROJECT ENGINEER:	ADVANCED ENGINEERING CONCEPTS ATTN: MATT APPEL P.E. 1360 INTERNATIONAL DRIVE, SUITE #1 EAU CLAIRE, WI 54701 PHONE: 715.552.0330 EMAIL: mappel@aec-engineering.com



www.htg-architects.com
 Minneapolis
 5320 Hennepin, Tower Road
 Minneapolis, MN 55347
 Tel: 952.278.8880
 Fax: 952.278.8822

PROJECT
**CHIPPEWA
 FINANCIAL
 AND COFFEE**

**LOT 6 BLOCK 3
 LAKE WISCONSIN
 BUSINESS PARK**

ISSUED SET

REVISIONS

DATE NO.

BACK OF CURB RADIUS LEGEND

A	2.5 FEET
B	4 FEET
C	4.5 FEET
D	8.5 FEET
E	17.5 FEET
F	25.0 FEET
G	75 FEET

HATCHING LEGEND

[Hatched Box]	PROPOSED BITUMINOUS PAVEMENT
[Hatched Box]	PROPOSED BUILDING
[Hatched Box]	PROPOSED CONCRETE PAVEMENT (DIRT/FINALS 5" THICKNESS) (TRAFFIC 2" THICKNESS)

FIRST BANK OF BALDWIN AND CARIBOU COFFEE CTHI AT LAKELAND DRIVE

CURRENT ZONING: 102.882 SF (2.28 AC)
 5-2-3
 102.882 SF (2.28 AC)

EXISTING IMPROVED AREA: 0-97' (0.22)

PROPOSED USE: INSTITUTIONAL & BUSINESS

PROPOSED AREA: 126,507 SF (2.88)

PROPOSED PAVEMENT: 47,259 SF (1.08)

PROPOSED SIDEWALK: 2,400 SF (0.05)

PROPOSED BIKEWAY: 1,200 SF (0.03)

PROPOSED GREEN SPACES: 47,259 SF (1.08)

PARKING SPACES: 46 TOTAL (2 ACCESSIBLE)

BICYCLE STALLS: 6 SPALLS

SEWERAGE: 12' DIA. 15' DEEP

REAR: 30'

- GENERAL NOTES**
- UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR EXACT VERTICAL POSITIONS. A FIELD SURVEY SHALL BE CONDUCTED TO VERIFY THE LOCATION OF ALL UTILITIES AND TO OBTAIN THE CITY, THE UTILITIES, AND FIELD LOCATION DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
 - CONTRACTOR SHALL NOT OBTAIN ANY R/W RIGHTS. ANY R/W RIGHTS SHALL BE OBTAINED BY THE OWNER. THE CONTRACTOR SHALL BE HELD FOR REPARATION.
 - CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND EROSION CONTROL MEASURES TO BE MAINTAINED THROUGHOUT THE PROJECT. DUST CONTROL SHALL BE MAINTAINED TO PREVENT DUST FROM THE SITE OF THE PROJECT.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.

SITE PLAN KEY NOTES

1	18" CURB (DETAIL C-202)
2	15" CURB (DETAIL C-202)
3	CURB TAPER (DETAIL C-202)
4	PAVEMENT FURROW / CONCRETE
5	ACCESSIBLE RAMP (DETAIL C-401)
6	ACCESSIBLE RAMP (DETAIL C-402)
7	SIDEWALK CURB (DETAIL C-202)
8	5" PCC SIDEWALK (DETAIL C-202)
9	CURB CUT (DETAIL C-202)
10	10' DIA. PCC SLAB FOR TRUCK ENCLOSURE
11	6" X 12" DIRT BACK
12	MONUMENT SIGN (SEE ARCH. PLAN)
13	DRINKING STATION (SEE ARCH. PLAN)
14	DRINKING STATION (SEE ARCH. PLAN)
15	DRINKING STATION (SEE ARCH. PLAN)
16	12" X 18" PCC PAVT. (SEE ARCH. PLAN)
17	17" X 18" PCC PAVT. (SEE ARCH. PLAN)
18	40.5' X 20' PCC PAVT. (SEE ARCH. PLAN)
19	8' X 7' TRANSFORMER PAD (VERIFY R/C/UTILITY DESIGN)
20	MATCH EXISTING PAVEMENT & ELEVATION
21	DRIVE THROUGH CURB (DETAIL C-402)
22	5' X 5' PCC SIDEWALK
23	5' X 5' PCC SIDEWALK
24	5' X 5' PCC SIDEWALK
25	ROCK PAVEMENT EDGE (DETAIL C-202)
26	18" WIDE GRASSSED FILTER STRIP
27	4' X 34" GRASSSED SHALE (DETAIL C-204)
28	DIRECTIONAL SIGN
29	10' X 14" PCC SLAB
30	18" RIBBON CURB (DETAIL C-202)
31	18" RIBBON CURB (DETAIL C-202)
32	PAVING SIGN (SEE ARCH. PLAN)

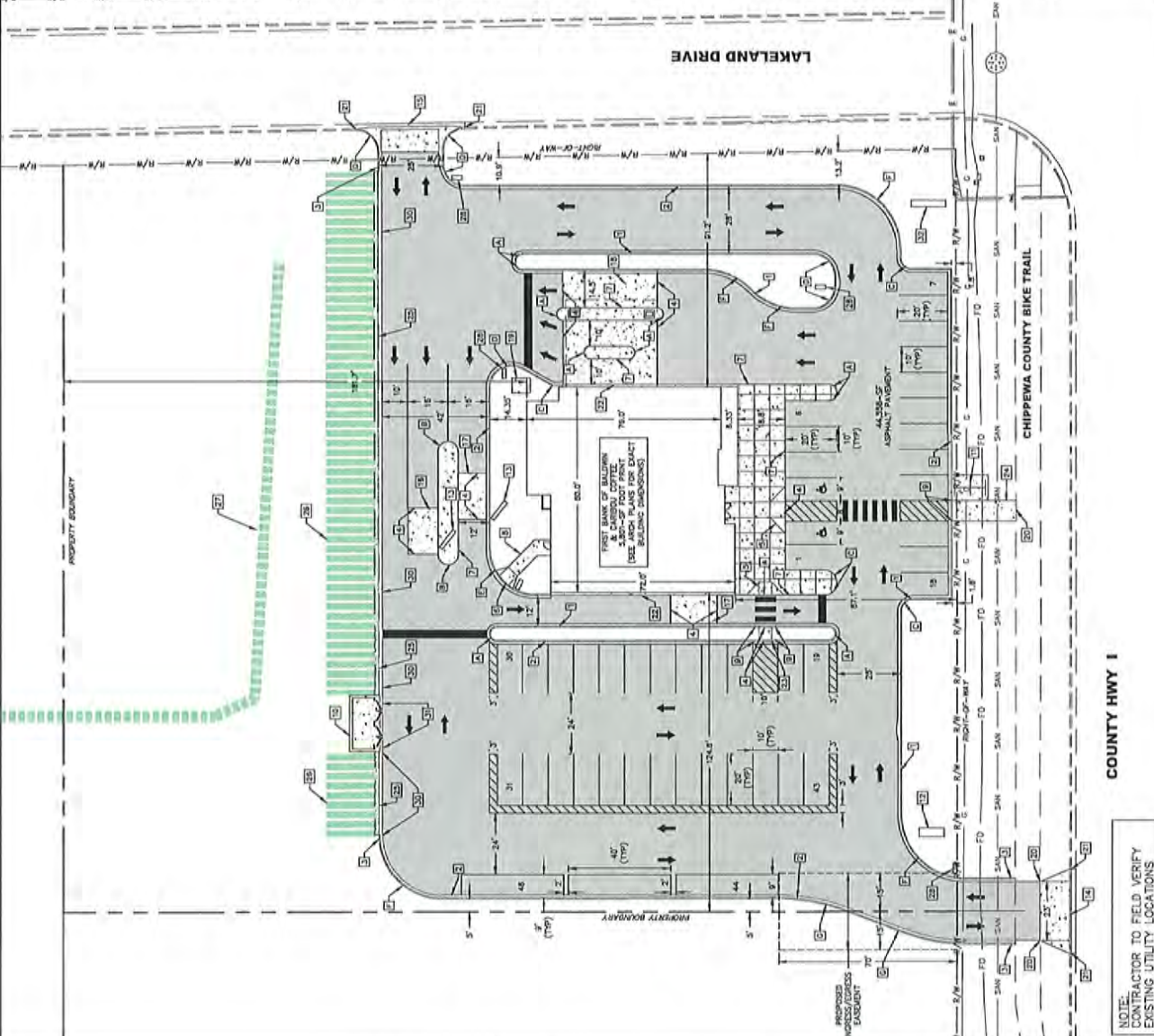
TYPICAL PAVEMENT SECTION

4	LT 58-34 S HMA	7.5"
4	LT 58-28 S HMA	7.5"
8" C.A.B.C. (1-1/4")		
12" SAND SUBBASE		
SUBGRADE PREP. PER REPORT.		
TYPE S.A.S.		
FABRIC		

FIELD PAVEMENT SETTINGS TO BE CONSTRUCTED PER REPORT. A SEPARATE PAVEMENT ENGINEERING REPORT IS AVAILABLE FOR CONSULTATION. SEE REPORT FOR ADDITIONAL INFORMATION AND RECOMMENDATIONS ONLY.

CONCRETE PAVEMENT SECTION

7" P.C.C.	
8" C.A.B.C. (1-1/4")	
SUBGRADE PREPARATION PER REPORT.	



ADVANCED ENGINEERING CONCEPTS
 1360 INTERNATIONAL DR., SUITE #1
 MINNEAPOLIS, MN 55404
 PH: 762-562-0330
 info@aec-engineering.com
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SITE PLAN

DRAWN BY: [Name]
 CHECKED BY: [Name]

C-300

AEC PROJECT #2024
 11/11/2024
 HTG ARCHITECTS

COUNTY HWY 1

NOTE:
 CONTRACTOR TO FIELD VERIFY
 EXISTING UTILITY LOCATIONS



www.htg-architects.com
 Minneapolis
 8300 Hennepin Town Road
 Minneapolis, MN 55347
 Tel: 952.278.8350
 Fax: 952.278.6822



811
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WATERMAIN TABLE	
FITTING	DETAIL / DESCRIPTION
W1	2" CORR TO W/TD
W2	2" STOP

DOWN SPOUT CONNECTIONS: DETAIL SS-500

ID	RM	INVERT	SPAWN DATA	10'-10" CPM
DSC-A	232.00	224.35	30 LF 4" 5020S PVC @ 2.00%	27
DSC-B	232.00	223.92	8 LF 4" 5020S PVC @ 2.00%	35
DSC-C	232.00	223.94	13 LF 4" 5020S PVC @ 2.00%	40
DSC-D	232.00	223.30	14 LF 4" 5020S PVC @ 2.00%	35
DSC-E	232.00	223.30	44 LF 4" 5020S PVC @ 2.00%	40
DSC-F	232.00	222.81	8 LF 4" 5020S PVC @ 2.00%	39
DSC-G	232.00	222.11	45 LF 4" 5020S PVC @ 2.00%	48
DSC-H	232.00	222.39	18 LF 4" 5020S PVC @ 2.00%	37
DSC-I	232.00	222.90	30 LF 4" 5020S PVC @ 2.00%	40

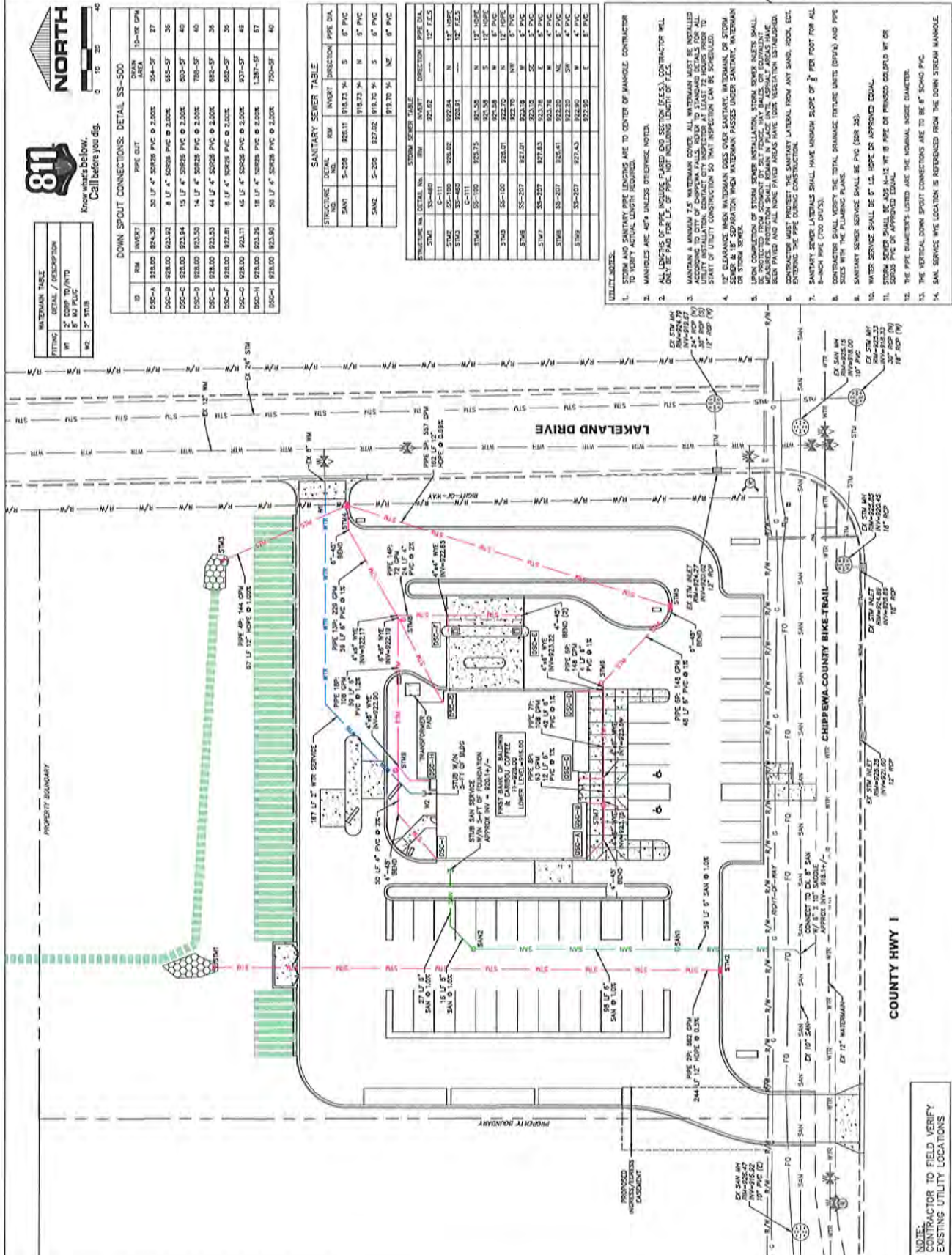
SANITARY SEWER TABLE

STRUCTURE NO.	DETAIL	RM	INVERT	DIRECTION	PIPE DIA.
SM1	S-206	228.11	198.73	S	8" PVC
SM2	S-206	227.02	199.70	S	8" PVC

STORM SEWER TABLE

STRUCTURE NO.	DETAIL	RM	INVERT	DIRECTION	PIPE DIA.
SM1	S-102	227.42	192.44	---	12" FELS
SM2	S-102	226.91	192.91	---	12" FELS
SM3	S-101	225.48	182.58	N	12" HOPE
SM4	S-101	225.35	182.58	N	12" HOPE
SM5	S-101	222.70	182.58	N	12" HOPE
SM6	S-101	222.70	182.58	N	12" HOPE
SM7	S-101	222.70	182.58	N	12" HOPE
SM8	S-101	222.70	182.58	N	12" HOPE
SM9	S-101	222.70	182.58	N	12" HOPE
SM10	S-101	222.70	182.58	N	12" HOPE

- UTILITY NOTES:
- STORM AND SANITARY PIPE LENGTHS ARE TO CENTER OF MANHOLE CONTRACTOR TO VERIFY ACTUAL LENGTH REQUIRED.
 - MANHOLES ARE 48" UNLESS OTHERWISE NOTED.
 - ALL LOCATIONS OF PIPE INCLUDE PLANNED (DOW SECTION) (E.E.S.) CONTRACTOR WILL ONLY BE PAID FOR L.S. OF PIPE, NOT INCLUDING LENGTH OF T.E.S.
 - MAINTAIN A MINIMUM 7.5' WATERMAIN COVER. ALL WATERMAIN MUST BE INSTALLED UNDER THE EXISTING SIDEWALK. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY INSTALLATION AND CONTRACT CITY INSPECTOR AT LEAST 72 HOURS PRIOR TO START OF UTILITY CONSTRUCTION SO THAT INSPECTION CAN BE SCHEDULED.
 - 12" CLEARANCE UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY INSTALLATION WHEN WATERMAIN PASSES UNDER SANITARY, WATERMAIN OR STORM SEWER.
 - UPON COMPLETION OF STORM SEWER INSTALLATION, STORM SEWER INSETS SHALL BE PROTECTED FROM DAMAGE BY ALL FUTURE SALES, AND CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITY INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITY INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITY INSTALLATION.
 - CONTRACTOR MUST PROTECT THE SANITARY LATERAL FROM ANY SAND, ROCK, ETC. ENTERING THE PIPE DURING CONSTRUCTION.
 - SANITARY SEWER LATERALS SHALL HAVE A MINIMUM SLOPE OF 1" PER FOOT FOR ALL 8-INCH PIPE (750 PIPES).
 - CONTRACTOR SHALL VERIFY THE TOTAL DRAINAGE FEATURE UNITS (DFU) AND PIPE SIZES WITH THE PLUMBING PLANS.
 - SANITARY SEWER SHALL BE 8" PVC (FOR 3/5).
 - WATER SERVICE SHALL BE 8" I.D. HOPE OR APPROVED EQUAL.
 - 8-INCH SERVICE SHALL BE 8" I.D. HOPE OR APPROVED EQUAL.
 - 12-INCH SERVICE SHALL BE 12" I.D. HOPE OR APPROVED EQUAL.
 - THE PIPE DIAMETER LISTED ARE THE NORMAL INSIDE DIAMETER.
 - THE VERTICAL DOWN SPOUT CONNECTIONS ARE TO BE 8" SCHED 40S.
 - SM1 SERVICE WYE LOCATION IS REFERENCED FROM THE DOWN STREAM MANHOLE.



NOTE: CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS



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UTILITY PLAN

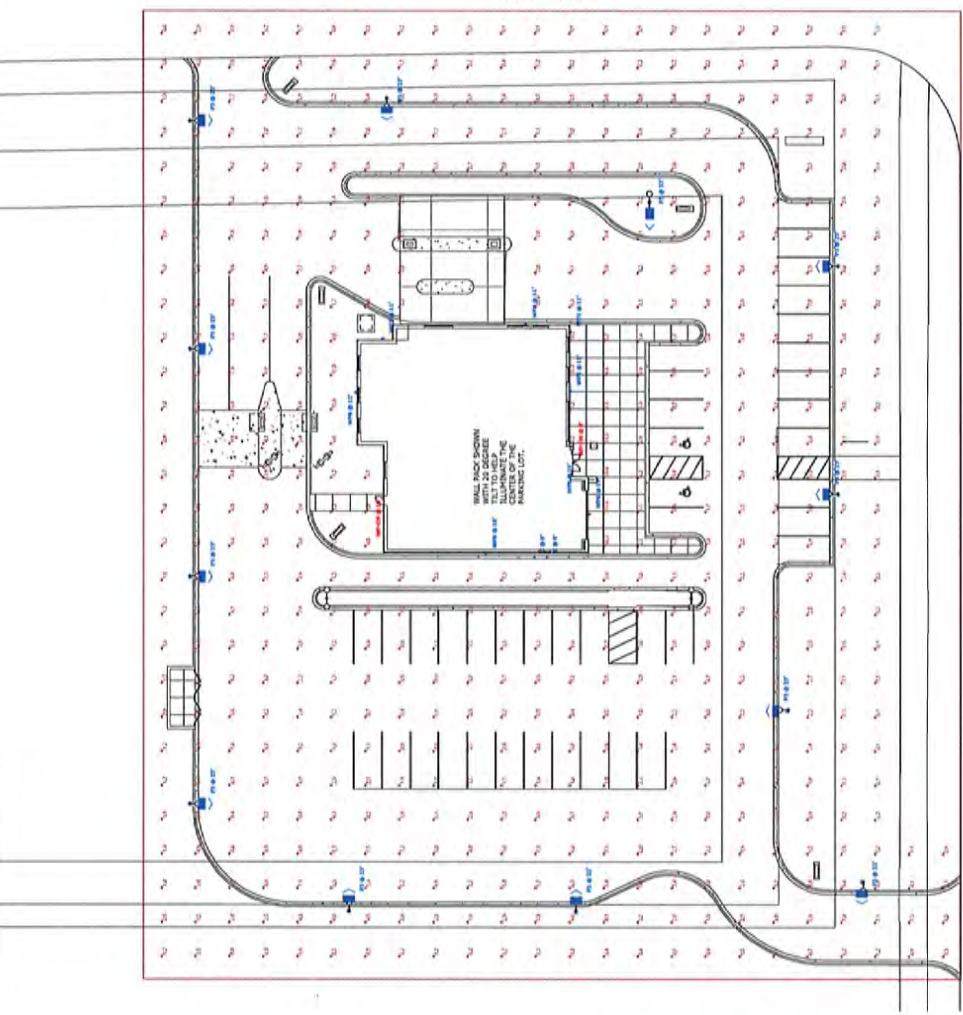
C600

DRAWN BY: JCS CHECKED BY: [blank]

NOTES:
1. BANK CURB-UP CANOPY LIGHTING SHOWN ON SEPARATE PLAN.

STATISTICS
Total Area: 1,234,567 sq. ft.
Total Length: 123,456 ft.

Symbol	Label	Quantity	Manufacturer / Catalog Number	Description	Notes	Quantity	Unit	Material	Notes
P3	Lighting	1	LED LUMINA	LED LUMINA 100W CCT 4000K	100W CCT 4000K	1	1	100W CCT 4000K	100%
WP2	Lighting	1	WP2	WP2	WP2	1	1	WP2	100%
WP-EM	Lighting	1	WP-EM	WP-EM	WP-EM	1	1	WP-EM	100%
WPB	Lighting	1	WPB	WPB	WPB	1	1	WPB	100%
C	Lighting	1	C	C	C	1	1	C	100%
PS	Lighting	1	PS	PS	PS	1	1	PS	100%



COUNTY ROAD I
LAXELAND DRIVE

PROJECT

**CHIPPEWA
FINANCIAL &
COFFEE**



Lake Wissota
Business Park
Lot '6'
Chippewa Falls, WI

RD PROJECT SET: 3/12/2022
REVISIONS: _____
DATE: _____

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.
SERVY C. RABOON
3/12/2022
Reg. No. _____
DSS



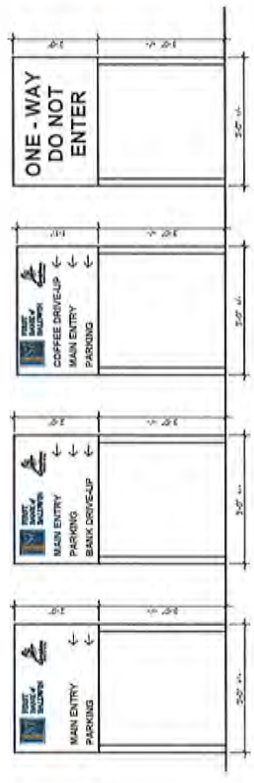
**SITE & SIGNAGE
DETAILS**

Drawn By: J.P. Chubbick, J.L.

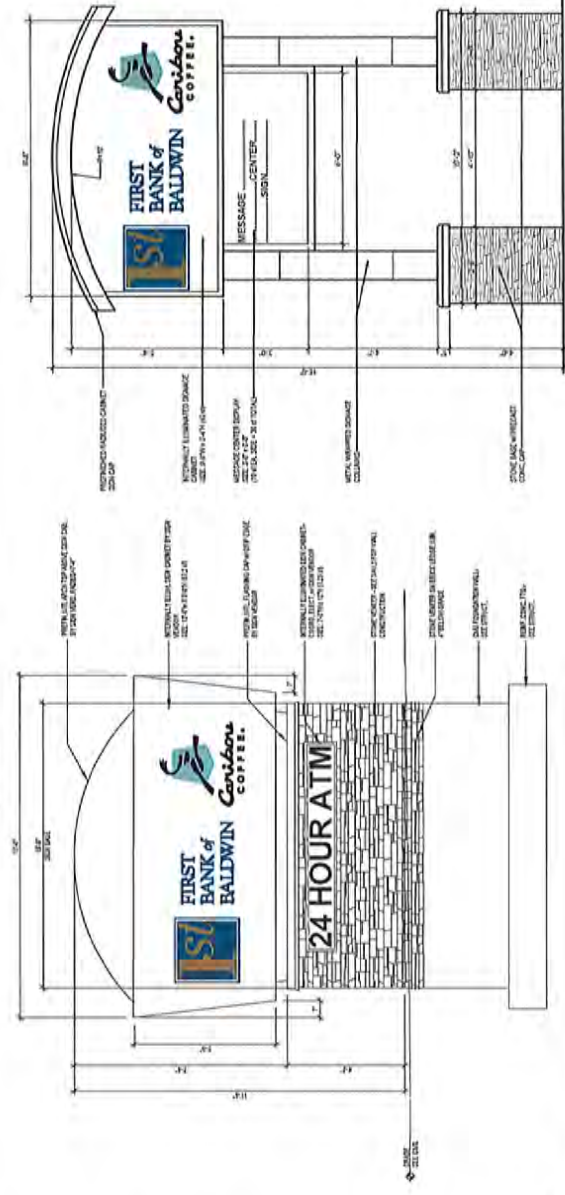
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3/11/15
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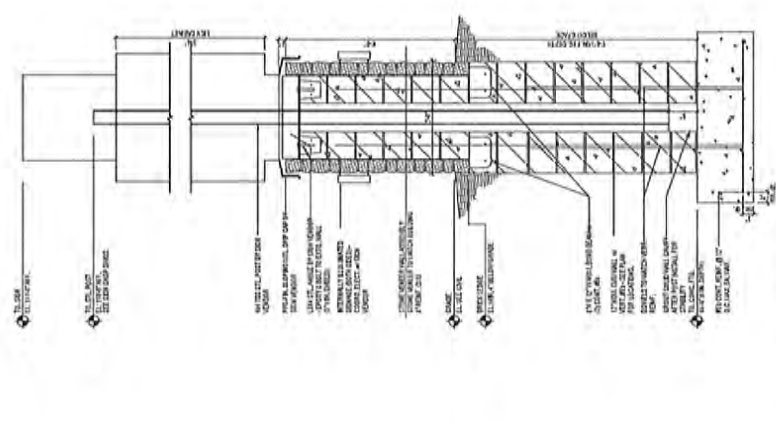
ALL SIGNAGE SHOWN FOR DIMENSION AND LOCATION PURPOSES ONLY. SEE SHOP DRAWINGS AND PERMITTING FOR ALL EXTERIOR PROJECT SIGNAGE.



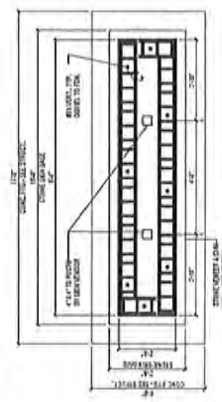
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1/2" = 1'-0"



2. ELEVATION & PYLON SIGN
1/2" = 1'-0"



3. MONUMENT SIGN SECTION
3/4" = 1'-0"



4. MONUMENT SIGN PLAN
1/2" = 1'-0"

5. MONUMENT SIGN ELEVATION
1/2" = 1'-0"



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Bismarck

1010 Main Street, Suite 100
Hopkins, MN 55343
Tel: 952.278.8880

PROJECT

CHIPPEWA
FINANCIAL &
COFFEE



Lake Wissota
Business Park
Lot '6'

Chippewa Falls, WI

REV PERMITS SET 3/15/2022

Table with columns: NO, DATE, NO, DATE. Contains a list of revision dates and numbers.

SERVIC RABOIN
3/15/2022
Date



ROOF PLAN

Sheet No. 19

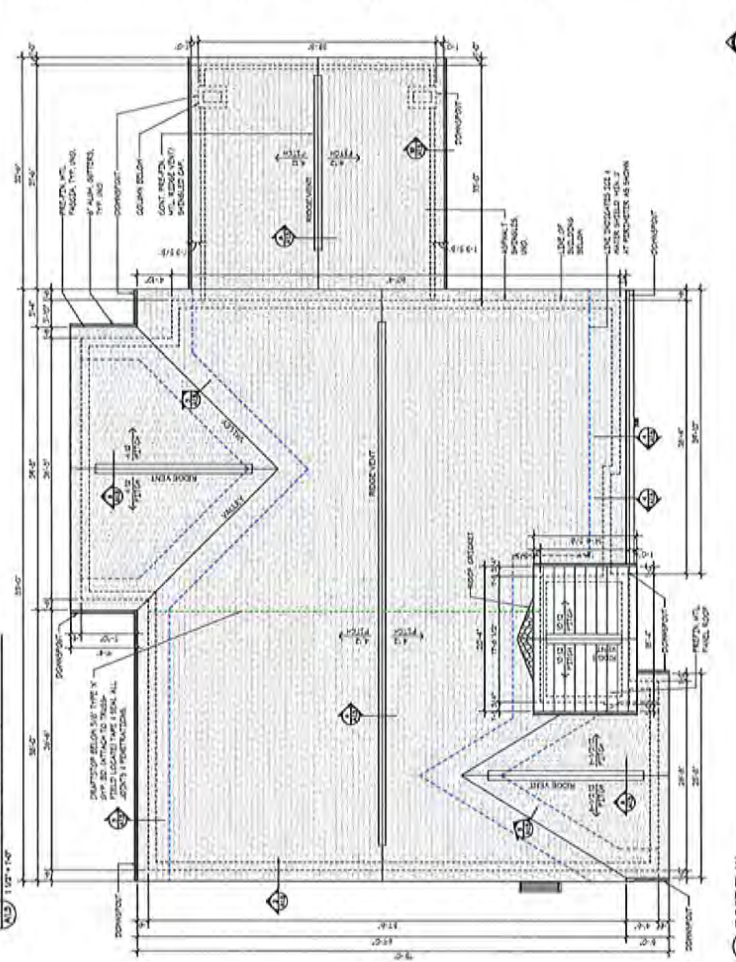
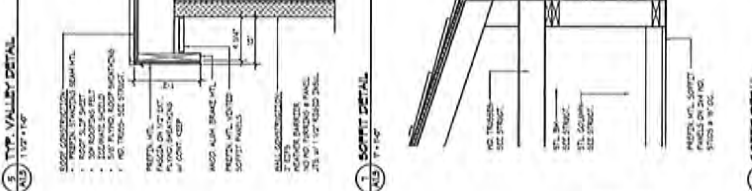
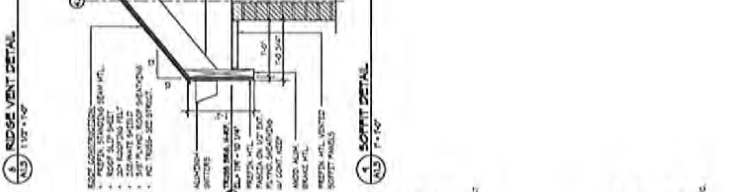
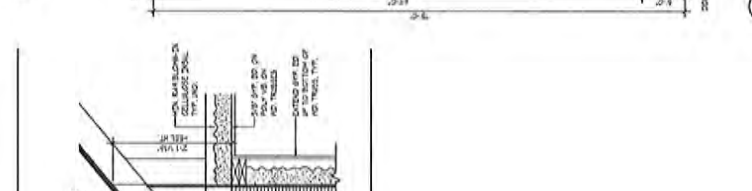
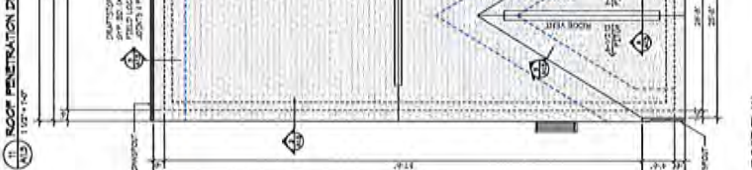
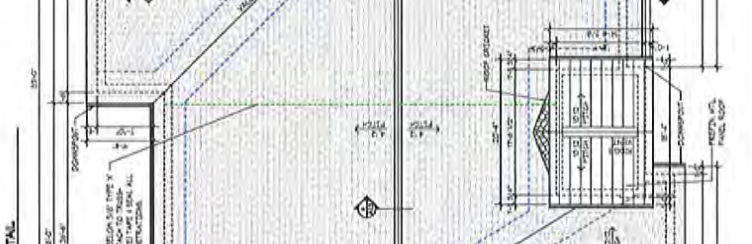
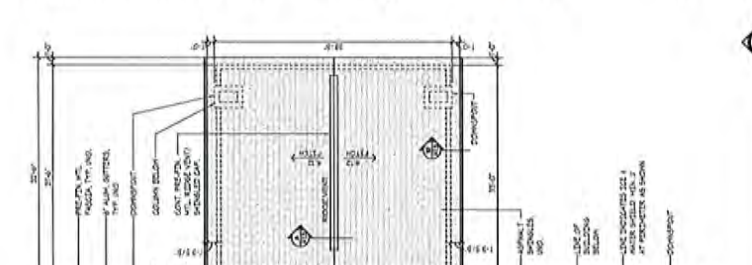
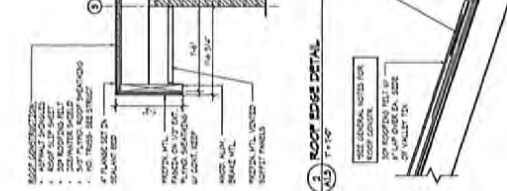
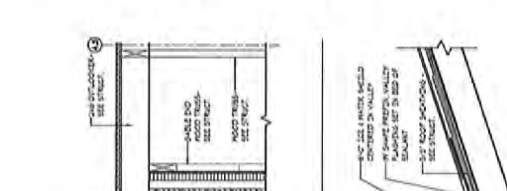
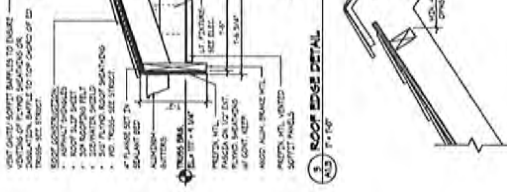
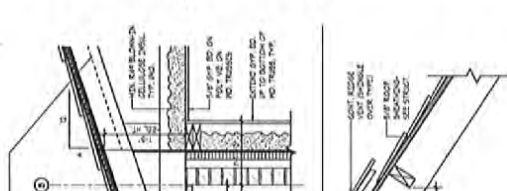
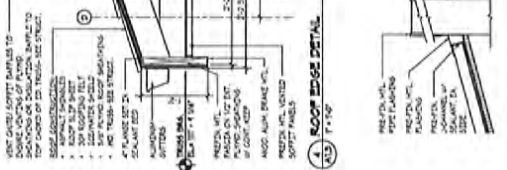
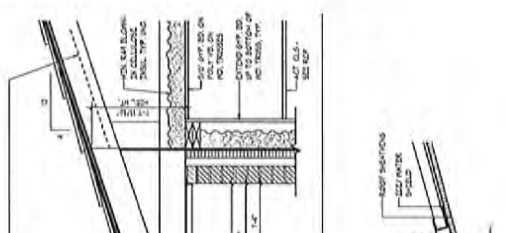
Created by: JIL

A1.3

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- GENERAL NOTE:
1. METAL ROOF FINISHES TO BE...
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- GENERAL NOTES:
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10. METAL ROOF FINISHES TO BE...



A1.3 ROOF PLAN

A1.3 ROOF PLAN

PROJECT

CHIPPEWA
 FINANCIAL &
 COFFEE



Lake Wissota
 Business Park
 Lot '6'

Chippewa Falls, WI

ISSUED SET	3/15/2002
DATE	NO

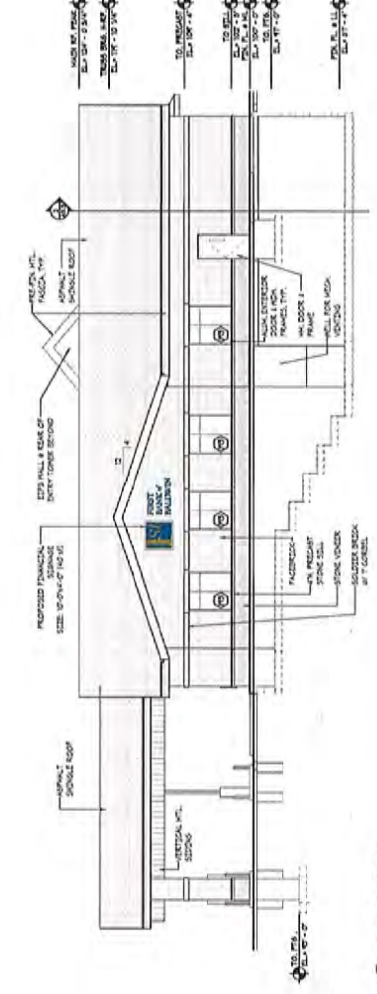
This document and the data, specifications and notes contained herein are prepared by me or under my direct supervision and to the best of my knowledge and belief they comply with all applicable laws and regulations.

Semy C Raboin
SEMY C. RABOIN
 3/15/2002
 Reg. No. Date

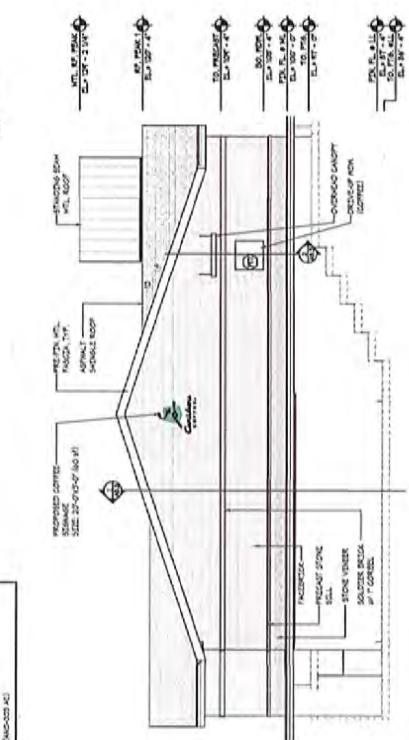
EXTERIOR ELEVATIONS

Checked By: J.R.
 Drawn By: J.P.

A3.1
 HTG ARCHITECTS



1 NORTH ELEVATION
 3/15/02



2 EAST ELEVATION
 3/15/02



3 SOUTH EXTERIOR ELEVATION
 3/15/02

EXTERIOR FINISHES:

APRINT FINISHES	APRINT FINISHES	APRINT FINISHES
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APRINT FINISHES	APRINT FINISHES	APRINT FINISHES

PROJECT

CHIPPEWA
 FINANCIAL &
 COFFEE



Lake Wisconsin
 Business Park
 Lot 'g'

Chippewa Falls, WI

ISSUED SET 3/17/2022

REVISIONS:	DATE	NO

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Wisconsin.

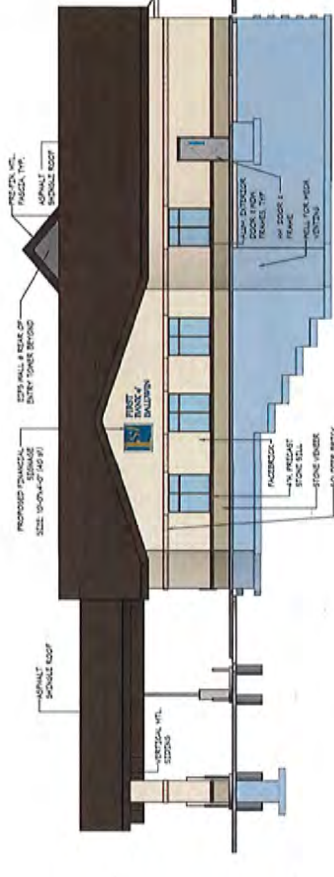
S. H. Raboin
SEAN C. RABOIN
 Lic No. 37172022
 Date

EXTERIOR ELEVATIONS
 -DESIGN

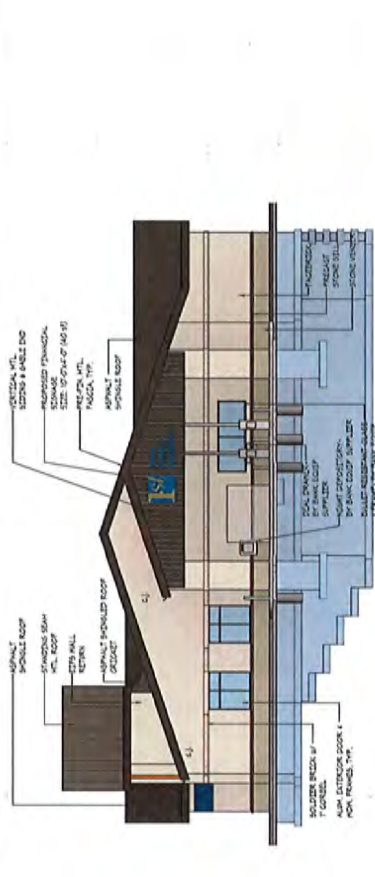
Drawn By: JH Checked By: JH

A3.2

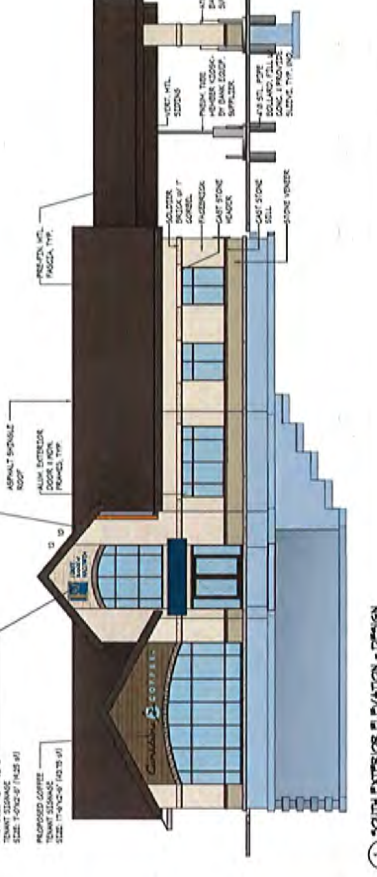
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1.1 WEST EXTERIOR ELEVATION - DESIGN
 0.5.2 10'-0" x 12'-0"



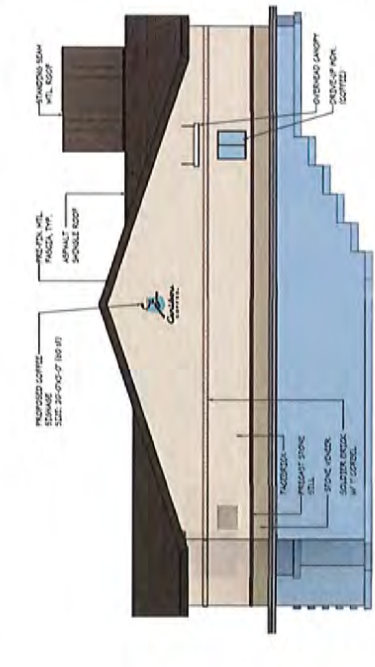
1.2 NORTH EXTERIOR ELEVATION - DESIGN
 0.5.2 10'-0" x 12'-0"



1.3 EAST EXTERIOR ELEVATION - DESIGN
 0.5.2 10'-0" x 12'-0"



1.4 SOUTH EXTERIOR ELEVATION - DESIGN
 0.5.2 10'-0" x 12'-0"



1.5 WEST EXTERIOR ELEVATION - DESIGN
 0.5.2 10'-0" x 12'-0"



www.htg-architects.com
Minneapolis Minnesota

1010 McKinnetts, Suite 100
Hopkins, MN 55343
Tel: 952.278.8880

PROJECT

CHIPPEWA
FINANCIAL &
COFFEE



Lake Wissota
Business Park
Lot "6"

Chippewa Falls, WI

BID PERMIT SET 3/11/2022
REVISIONS

DATE	NO

I hereby certify that the plans, specifications or report here prepared by me or under my direct supervision and that my seal and signature appear thereon in accordance with the laws of the State of Wisconsin.

SEANN C. RABOIN
SEANN C. RABOIN
17265
3/11/2022
Reg. No. Date

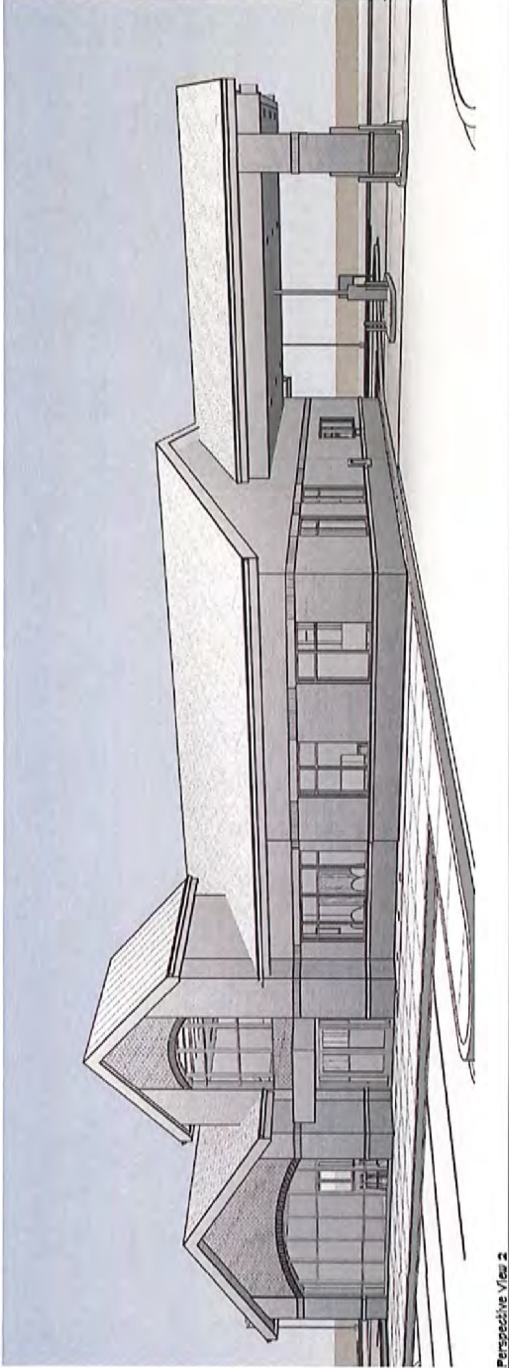


3D RENDERINGS

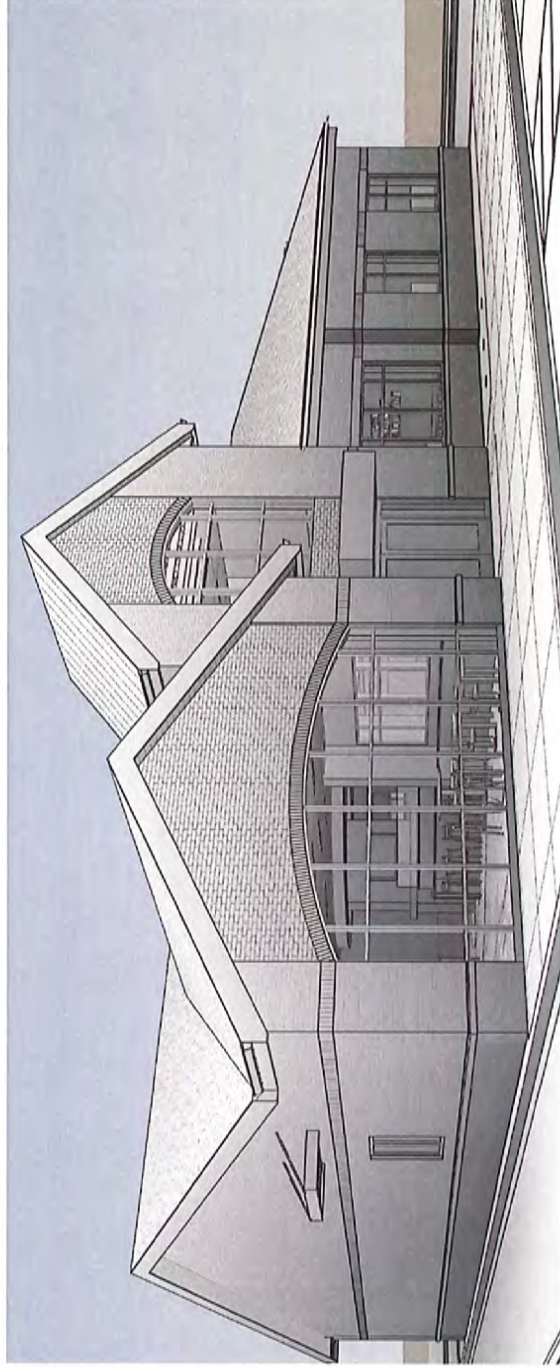
Drawn By: Author
Checked By: Owner

A3.3

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Perspective View 2



Perspective View 1

44-23-23-24

PROJECT

CHIPPEWA
FINANCIAL &
COFFEE



Lake Wissota
Business Park

Lot "6"

Chippewa Falls, WI

BID PERMIT SET 3/15/2022
REVISIONS

DATE	NO

I hereby certify that this plan modification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Wisconsin.

SEAN C. BARON
2008
Reg. No. 31752022
DSSP

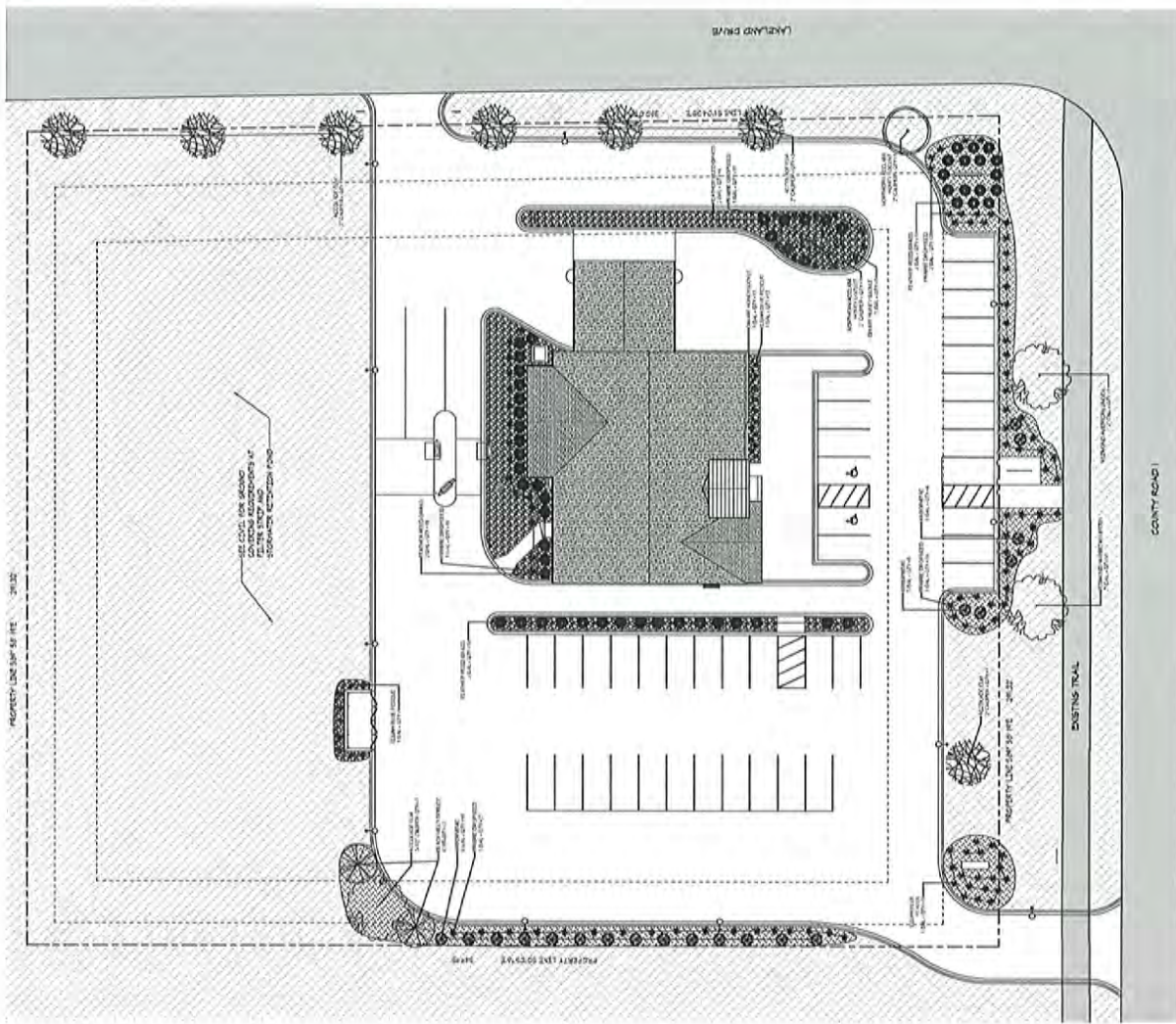


PRELIMINARY
LANDSCAPE PLANTING
PLAN

Checked by: JK
Drawn by: P.P.

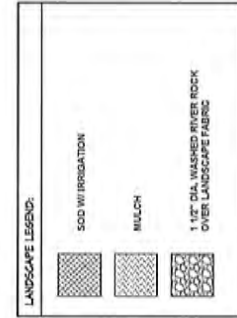
L1

211115
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LANDSCAPE GENERAL NOTES:

1. ALL PLANTING BEDS TO BE GRADED WITH BLACK TOP OR ASIDE BLACK TOP. (STOPS AND INCLUDED WITH 4000 VULCANIZED AT 2" 20% IN OVER THICK FEET SPACED 18" TO 24").
2. PLANTING BEDS TO BE GRADED WITH BLACK TOP OR ASIDE BLACK TOP. (STOPS AND INCLUDED WITH 4000 VULCANIZED AT 2" 20% IN OVER THICK FEET SPACED 18" TO 24").
3. PLANT TREES 1 1/2" GIRTH AT 4.5' FROM TRUNK AND DISTANCED AND PLACED TO MAINTAIN CLEARANCE TO OVERHEAD POWER LINES AND TO MAINTAIN CLEARANCE TO OVERHEAD POWER LINES. PLANTING BEDS TO BE GRADED WITH BLACK TOP OR ASIDE BLACK TOP. (STOPS AND INCLUDED WITH 4000 VULCANIZED AT 2" 20% IN OVER THICK FEET SPACED 18" TO 24").
4. PLANTING BEDS TO BE GRADED WITH BLACK TOP OR ASIDE BLACK TOP. (STOPS AND INCLUDED WITH 4000 VULCANIZED AT 2" 20% IN OVER THICK FEET SPACED 18" TO 24").
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7. PLANTING BEDS TO BE GRADED WITH BLACK TOP OR ASIDE BLACK TOP. (STOPS AND INCLUDED WITH 4000 VULCANIZED AT 2" 20% IN OVER THICK FEET SPACED 18" TO 24").
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16. PLANTING BEDS TO BE GRADED WITH BLACK TOP OR ASIDE BLACK TOP. (STOPS AND INCLUDED WITH 4000 VULCANIZED AT 2" 20% IN OVER THICK FEET SPACED 18" TO 24%).
17. PLANTING BEDS TO BE GRADED WITH BLACK TOP OR ASIDE BLACK TOP. (STOPS AND INCLUDED WITH 4000 VULCANIZED AT 2" 20% IN OVER THICK FEET SPACED 18" TO 24%).
18. PLANTING BEDS TO BE GRADED WITH BLACK TOP OR ASIDE BLACK TOP. (STOPS AND INCLUDED WITH 4000 VULCANIZED AT 2" 20% IN OVER THICK FEET SPACED 18" TO 24%).
19. PLANTING BEDS TO BE GRADED WITH BLACK TOP OR ASIDE BLACK TOP. (STOPS AND INCLUDED WITH 4000 VULCANIZED AT 2" 20% IN OVER THICK FEET SPACED 18" TO 24%).
20. PLANTING BEDS TO BE GRADED WITH BLACK TOP OR ASIDE BLACK TOP. (STOPS AND INCLUDED WITH 4000 VULCANIZED AT 2" 20% IN OVER THICK FEET SPACED 18" TO 24%).



1. PRELIMINARY LANDSCAPE PLAN
11-2022

