

**MINUTES OF THE PLAN COMMISSION MEETING
CITY OF CHIPPEWA FALLS
MONDAY, MARCH 7, 2022 – 6:30 PM**

The Plan Commission met in City Hall on Monday, March 7, 2022 at 6:30 P.M.

Attending were Commissioners Dave Cihasky, Greg Misfeldt, Mike Tzanakis, Dan Varga, Beth Arneberg, Jerry Smith, Alderperson Jason Hiess, Secretary Rick Rubenzer and Vice-Chairperson Tom Hubbard. Mayor Greg Hoffman and Commissioner Dennis Doughty were absent. Also attending were City Planner Brad Hentschel, Assistant City Engineer Bill McElroy and those on the attached attendance sheets. Jim Rooney attended remotely via Webex.

1. **Motion** by Tzanakis, seconded by Varga to approve the minutes of the February 7, 2022 Plan Commission meeting. **All present voting aye. Motion carried.**

2. **Motion** by Smith, seconded by Hiess to approve the minutes of the February 14, 2022 Plan Commission meeting. **All present voting aye. Motion carried**

3. Sean Bohan of Advanced Engineering Concepts appeared and presented Planned Development Conditional Use Permit Resolution No. 2022-02. Mr. Bohan stated that Planned Development Conditional Use Permit Resolution No. 2021-03 had been approved in 2021 which allowed eight unit and 12 unit apartments in Park West and single family west of and adjacent to Jake Place. He noted that the development was consistent with the original preliminary concepts approved in 2007 with Planned Development Conditional Use Permit Resolution No. 2007-03. He detailed the proposed new conditions of the two twenty-four unit apartments on 5.13 acres of recently purchased former right-of-way and replacing twelve single family lots with twelve twin homes (24 units). He continued that pedestrian walks would serve the twenty-four unit apartments and connect to an existing crosswalk at Elm Street and Hilary Street and also connect to the Willow Creek subdivision north of Bridgewater Avenue. He stated tot lots had been added near the twenty-four unit apartments and a club house had also been added. Single family lots adjacent and west of Jake Place would remain as originally proposed while twin homes would replace proposed single family on the west side of the new proposed street. Commissioner Cihasky had concerns about future proposals to replace single family lots with twin homes. Mr. Bohan continued that stormwater facilities were already in place and that storm runoff rates were significantly reduced from pre-development conditions. After conferring with Chippewa County about the Park West southern access onto County N, a traffic impact analysis would now be done. The Drake Drive connection between Bridgewater Avenue and County N will be completed before any additional building permits are issued. He continued that property density had increased from 4.98 units/acre to 5.67 units/acre. Units had been added but so had acreage. This was similar to the originally approved concept in 2007. The overall development estimates 185 additional children including 134 school age children. The development will occur over a number of years. The market would determine when the twenty-four unit apartments would be constructed. Alderperson Hiess requested additional details about the pedestrian walkway along Elm Street. Would it be attached to the County N/Elm Street shoulder or stand alone? Hiess asked why the twin home change? Mr. Bohan answered that buying both sides of twin homes normally doesn't cash flow. The cost of affordable single family houses has gone sky high. Twin homes provide an affordable option. Developer Rooney stated that the intent is to develop single family and twin homes with C&M Builders. This is the same builder as for Willow Creek north of Bridgewater Avenue for the previous ten years. Once platted, C&M Builders and Rooney will have partnership. The twin homes will be sold as Rooney has no desire to own and rent them out. Misfeldt stated that the city was behind the times as far as twin homes went and that they would be sold very fast. Tzanakis asked if lots could be sold to individuals. Rooney stated that only two lots in Willow Creek were sold to individuals. It's just not a common occurrence.

Tzanakis and Smith hypothesized that students would cross County N at Tropicana Boulevard rather than walk east and cross at Hilary Street.

Vice-Chairperson Hubbard opened a public hearing.

Lorraine Hall at 1384 Jake Place appeared and was concerned about previous Planned Development Conditional Use Permits changing from multi-family to corn fields and then to multi-family and twin homes. Also concerned with traffic at Hilary Street and Elm Street and school age children crossing Elm Street/County N. Also, concerned about how close twin homes are together and storm runoff from the twin homes. Scott Steinmetz of 929 Bluffview Court appeared with the biggest concern about storm runoff. He understands he doesn't own the ditches but plants in the ditch because it's wet. He also was concerned with traffic. Tropicana Boulevard isn't wide enough and radii aren't large enough. Construction trash and dirt blow into his yard. The watermain connection in the easement through his yard wasn't re-established to his satisfaction. Margaret Kitze of 1384 Jake Place appeared with concerns that the property line is ten feet from her deck and thinks development would lower her property value. She believes there should be additional sidewalk included on Hilary Street and Macomber Street. She would like to buy an adjacent lot from Rooney. Andrew Nelson of 1203 Macomber Street appeared with a request to have the twin homes and single family homes access be to the west to Park West and not open to the east to Macomber Street. He would like to buy an adjacent lot from Rooney. Jackie Price of 1122 Macomber Street appeared and hypothesized that traffic would triple on Macomber Street. She was concerned that there weren't sidewalks on Macomber street and that the Hilary St./Macomber St. intersection was an uncontrolled intersection. She thinks children could be hurt with additional traffic. Wants to stick with original plan for twenty-nine single family homes. Mark Price also at 1122 Macomber Street appeared and thought there would be more children than 185 with 200 new apartment units. Also thought crossing Elm Street at Hilary Street was a poor idea. Wants more sidewalk and more controlled intersections. Concerned that plans change every eleven months. Jason Weindorfer of 1312 Hilary Street appeared and likes that houses in the current neighborhood are custom and is concerned that new houses will all look the same. He would like to see the single family lots remain instead of changing to twin homes. Ted Solberg of 1279 Jake Place appeared. He has concerns with traffic control but thinks that the development is needed. He is concerned that Hilary St./Macomber St. is an uncontrolled intersection. Walt Matchim of 1276 Jake Place appeared with concern that twin homes along the west side of the new proposed street isn't a good fit.

Vice-Chairperson Hubbard closed the public hearing at 7:42 pm.

The Plan Commission then discussed separating the resolution into two parts. Misfeldt noted that twin homes are new to Chippewa Falls but very popular for years in surrounding communities. He noted that the existing Halmstad neighborhood on the city's southside was a denser neighborhood. Smith was concerned that traffic increase was a major concern. He wanted results for the Traffic Impact Analysis, the school district and the bus company's opinion prior to approval. Arneberg asked is the sidewalk could be constructed on Tropicana Boulevard between Mansfield Street and County N. Director of Public Works Rubenzer stated that by state statute, adjacent owners in the Town of Wheaton would be responsible for snow removal and maintenance and that he didn't believe the city could require sidewalk construction in the Town of Wheaton. Smith stated that Wisconsin Green had a signal light at STH #178 and County I, so it was different than Park West.

Motion by Varga, seconded by Hubbard to approve Planned Development Conditional Use Permit Resolution No. 2022-02 granting Rooney Properties Wisconsin LLC to develop the twenty-four unit apartments on 5.13 acres of recently acquired right-of-way and to develop twelve twin homes (24 units) instead of twelve single family lots along the west side of the new proposed street west of Jake Place contingent on pending results of a Traffic Impact Analysis for Park West II subdivision. **A roll call vote was taken. Voting aye were Varga, Hubbard, Cihasky, Misfeldt, Tzanakis, Arneberg and Rubenzer. Voting naye were Smith and Hiess. The motion was approved on a 7-2 vote.**

The attendees for the Park West II subdivision left the meeting at this point.

4. Trevor Bohland of the Chippewa Area Boys and Girls Club appeared to support Conditional Use Permit Resolution No. 2022-03. He has been on the Board for fifteen years while serving two years as president. The Boys and Girls Club has been located in the Chippewa Valley Museum since 2012 and have been looking for a new location for expansion for about three years. Plans are to perform revisions in the existing building with a 6600 sf expansion. The goal is to increase programming from their existing 70 children to 200 children. They currently use a space at the Masonic Lodge, YMCA and Chippewa Valley Museum and utilize Irvine Park whenever possible. Currently snacks are offered but the kitchen and cafeteria are inadequate. Mental health professionals are on staff. There would be two phases. Chippewa Falls Director Mollie Hogan appeared and stated children go outside in small groups. Would like perimeter fence but a fence isn't in the current budget. The national staffing ratios are 10 children per boys and girls club staff. The estimate is it will take ten years to get to the full 200 children capacity. Current capacity at the Masonic Lodge is about 120. There is a waiting list of 70 children. Vice Chairperson Hubbard opened a public hearing at 8:43 pm.

Erik Anderson of 612 Bridgewater Avenue appeared. His family lives on the adjacent east side of 650 Bridgewater Avenue. He recognized a need for the Boys and Girls Club but wondered if his home, which is currently for sale, would be devalued. He asked if Plan Commission members lived there if they would be in favor. Gregg Mizerk of 629 Northridge Drive appeared. He was a previous president of the Northridge Drive Homeowners Association. He stated this would be a great asset for the neighborhood and supported Planned Development Conditional Use Permit Resolution No. 2022-03. Mel Bollom of 621 Northridge Drive appeared and stated he wasn't notified of the public hearing until earlier in the day. He stated he was on the Museum Board when the Boys and Girls Club was approved to locate downtown in the existing location. He isn't in favor of a teen center or gym. He was concerned that all homeowner's association owners weren't notified and that the notice stated "in the existing building" but didn't list the addition. Julius Lee of 663 Cedarwood Court appeared and stated he did not want to see a brick building when looking out his back window. He would rather see the Boys and Girls Club utilize the fairgrounds. Ann Kaiser, CEO of the Boys and Girls Club appeared to support the Conditional Use Permit Resolution No. 2022-03. She said she appreciates and respects the concerns of the neighbors and children are taught the same. The building is perfect for use by children. The gymnasium will be a recreation space but not rented out. Similar conversations about teen centers occurred in Menomonie and failed teen centers were in unstructured environments. This is a planned 2-3 million dollar investment with 2.5 million dollars already committed. Teens would be separate from second graders. Heidi Ottaveare of 8115 160th Street spoke on behalf of her parents Fred and Carol Holtz and would like the exterior lighting explained. Bright lighting would have a big impact on the neighborhood.


Vice-Chairperson Hubbard closed the public hearing at 9:12 pm.

Director of Public Works Rubenzer noted that public hearing notices stated the use being proposed and states that a full copy of the permit resolution is available in the Engineering Department prior to the hearing. The notice doesn't list all details of the permit. He continued that notices are sent to all adjacent property owners within 150 feet of the perimeter of the parcel on which the Conditional Use Permit would take place.

Motion by Tzanakis, seconded by Hiess to approve Conditional Use Permit Resolution No. 2022-03 allowing the Boys and Girls Club of the Greater Chippewa Valley – Chippewa Falls Center to operate a boys and girls club on parcel #22909-3644-07000000 located at 650 Bridgewater Avenue contingent on City Attorney Ferg's review and opinion that the public hearing notice that was sent to adjacent property owners was properly stated and sent to the proper owners. **A roll call vote was taken. Voting aye were Tzanakis, Hiess, Cihasky, Misfeldt, Varga, Arneberg, Smith, Rubenzer and Hubbard. Motion was approved on a 9-0 vote.**

The attendees for the Boys and Girls Club hearing left the meeting at this point.

5. The Plan Commission considered the attached Twin Home Construction Requirements and Standards. Existing City of Chippewa Falls Municipal Code doesn't address Twin Homes. City Planner Hentschel has examined about six different cities codes and Chippewa County codes concerning Twin Homes and about half require conditional use permits. Twin Homes could be added to existing code as a permitted use in certain districts or added as its own district or remain as a conditional or planned development conditional use, **No action was taken.**
6. The Plan Commission considered the attached Certified Survey Map for Lot 1 of CSM #801 and a part of the Northwest ¼ of the Northwest ¼ Section 17, T28N, R8W, located at 303 and 409 East Prairie View Road, submitted by Registered Land Surveyor Michael S. Ward on behalf of Chippewa Holdings LLC and U-Haul. After discussion;
Motion by Hiess, seconded by Varga to approve Certified Survey Map for Lot 1 of CSM #801 and a part of the Northwest ¼ of the Northwest ¼ Section 17, T28N, R8W, located at 303 and 409 East Prairie View Road, submitted by Registered Land Surveyor Michael S. Ward on behalf of Chippewa Holdings LLC and U-Haul contingent upon all revisions from County Surveyor Sam Wenz and receipt of all Certified Survey Map review fees. **All present voting aye. Motion carried.**
7. The Plan Commission considered the attached Preliminary and Final Plats of Autumn Winds Subdivision located in the Town of Lafayette, submitted by Hiess-Loken & Associates LLC. Director of Public Works Rubenzer noted that the subdivision is in the 3 mile extra-territorial plat review area. Commissioner Hiess stated this subdivision is being developed by Dennis Lyberg and Southwinds LLC. **Motion** by Misfeldt, seconded by Cihasky to recommend the Common Council approve Preliminary and Final Plats of Autumn Winds Subdivision located in the Town of Lafayette, submitted by Hiess-Loken & Associates LLC contingent on receipt and approval of any necessary stormwater management plan and receipt of plat review fees. **All present voting aye except Hiess who recused himself and abstained from the vote. Motion carried.**
8. The Plan Commission considered the attached Map of Survey of the River Street – High Street area. After discussion;
Motion by Hubbard, seconded by Cihasky to recommend the Common Council approve the attached Map of Survey of the River Street – High Street area presented on behalf of the Chippewa Valley Cultural Association (CVCA) Heyde Center for the Arts and make any necessary revisions to the Chippewa Falls Plat. **All present voting aye except Hiess who recused himself and abstained from the vote. Motion carried.**
9. **Motion** by Varga, seconded by Smith to adjourn. **All present voting aye. Motion carried.** The Plan Commission adjourned at 9:50 P.M.


Richard J. Rubenzer, P.E., Secretary
Plan Commission

PLAN COMMISSION ATTENDANCE SHEET

DATE: March 7, 2022 (2)

NAME	COMPANY REPRESENTING	ADDRESS	PHONE #	EMAIL
Scott Stenmetz	—	929 Bluff View Ct	715-486-5528	—
Jason Weindorfer	—	312 Hilary St	715-563-1800	—
Anna Kaiser	Boys & Girls Club	—	715-577-8295	akaiser@cvcubs.org
Julius Lee	—	663 ← 2018 used	715-929-1095	—
Jef Ballan	621 Northridge Dr.	621 Northridge Dr.	715-529-8800	ballan8383@sbcglobal.net
Walt & Jean Matchum	—	1276 Jake Place	715-726-1888	—
Heidi Ottevaere	—	8115 160th St. C.F.	715-861-3368	—
Nick Rooney	Heartland	13167 City View Dr	715-450-5775	nicker@heartlandwi.com
Trevon Bateman	Boys & Girls Clubs	3420 Summer Drive, EC	715-552-1818	Trevon@emilicommunity.com
Moue Hagan	Boys & Girls Clubs	—	715-894-7430	mhagan@cvcubs.org

PLAN COMMISSION ATTENDANCE SHEET

DATE: March 7, 2022

NAME	COMPANY REPRESENTING	ADDRESS	PHONE #	EMAIL
JEFF JONES	UHAUL	10923 GREYWALL	224-402004R	JEFF_JONES@UHAUL.COM
Ivy Schwuch	Uhaul	10923 Greywall	815-482-6639	Ivy-Schwuch@Maiden.com
LORRAINE HALL		1384 Jake Place	715-579-6356	lor6356@gmail.com
Margaret Kutz		11	579-6148	kiteem@gmail
Jordan Crossing	Advanced Engineering	13352 HISSMAN	404-6001	
SEAN BOLTAN	AEC	1360 INTERNATIONAL DR	715-552-0338	
Jacque Price		1122 Macomber St	715-252-0544	
Mark Price		1122 Macomber St	715-252-0544	
GREG MIZENK		625 NORTHAIDGE DRIVE	715 215 0512	gmizenk@gmail.com
GAIL MIZENK		629 NORTHAIDGE DRIVE	715 559 8666	
Carol Holtz		679 Cedarwood Ct.	715-577-2719	

**MINUTES OF THE PLAN COMMISSION MEETING
CITY OF CHIPPEWA FALLS
MONDAY, FEBRUARY 7, 2022 – 6:30 PM**

The Plan Commission met in City Hall on Monday, February 7, 2022 at 6:30 P.M. Attending were Commissioners Dave Cihasky, Greg Misfeldt, Mike Tzanakis, Dan Varga, Beth Arneberg, Alderperson Jason Hiess, Secretary Rick Rubenzer, P.E., Vice-Chairperson Tom Hubbard and Mayor Greg Hoffman. Commissioner Dennis Doughty and Jerry Smith were absent. Also attending were Assistant City Engineer Bill McElroy, P.E., City Planner Brad Hentschel, Inspector Paul Lasiewicz and those on the attached attendance sheet.

1. **Motion** by Hubbard, seconded by Tzanakis to approve the minutes of the January 10, 2022 Plan Commission meeting. **All present voting aye. Motion carried.**

2. The Plan Commission considered Chippewa Falls Plan Commission Conditional Use Permit Resolution No. 2022-01. A review of Wisconsin Administrative Code Chapter 97(01)(1g) was considered. Director of Public Works Rubenzer stated that the permit had been drafted in accordance with the said Code, City Municipal Code 17(23)(8)(i) and the permit application from the Custer's. It was noted that neighbors who couldn't attend (Dave and Evie Frasch) had expressed concerns about the ambiguity of the "small group gatherings". City Inspector Lasiewicz stated that a bed and breakfast is licensed by the State of Wisconsin under the residential building code and had no concerns with the bed and breakfast. Small group gatherings of non-bed and breakfast patrons would have to be regulated as a business under the commercial building code, meaning accessible house entry, accessible bathrooms, exit signs, paved parking and a separate special use permit. Commissioner Hiess asked if "up" lighting was permitted by city code. Inspector Lasiewicz stated dark sky, non-glare, dawn lighting is required. Discussion followed that small gatherings didn't have a "number" associated with them. The bed and breakfast didn't necessarily require all patrons to stay overnight and could host a gathering for others not staying overnight but with a maximum of twenty participants. Kristina and Kevin Custer addressed the Plan Commission. Owning and operating a bed and breakfast is a twenty-year dream for the Custer's. Kris stated she has a successful cleaning business and her and her husband are longtime Chippewa Falls area residents. The Custer's wanted to maintain the historical integrity of the existing house at 522 Superior Street. Other offers at higher values had been refused. Custer's intend to offer a peaceful, tranquil experience for bed and breakfast patrons but also would like the opportunity to host small gatherings on a periodic basis that would not interfere with the bed and breakfast experience. Kris indicated she had contacted six other bed and breakfasts around the state of Wisconsin and each only had obtained a Conditional Use Permit to conduct their business. Custer's indicated that Frashes had given a positive response to Custer's addressing of their concerns.

Mayor Hoffman opened a public hearing to consider Chippewa Falls Plan Commission Conditional Use Permit Resolution No. 2022-01. Susan Gutknecht spoke on behalf of her parents, David and Patricia Gutknecht, who live at 504 Superior Street. Main concerns were maintaining the historical value and safety of the neighborhood, small gatherings are not clearly defined, increased traffic and parking in neighborhood. Nate Martell of 501 Superior Street stated he works for the City and as a real estate agent, he has known the Custer's for a long time and trusts they will do a great bed and breakfast business and this will be an enhancement for the city. He didn't want to see the home split into multi-family (allowed by the R-2 zoning) and such is happening with other houses around the

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city with purchases by absentee owners. He didn't object to either the bed and breakfast or the small group gatherings and was in favor of approving the permit. Mayor Hoffman closed the public hearing.

Motion by Hiess, seconded by Hubbard to approve Chippewa Falls Plan Commission Conditional Use Permit Resolution No. 2022-01 allowing Kris and Kevin Custer to live in, own and operate a bed and breakfast at 522 Superior Street, Chippewa Falls, Wisconsin contingent upon striking all references to small group gatherings and changing "up" lighting to "down" (dark sky compliant) lighting in condition "d". **All present voting aye. Motion carried.**

3. Board member Trevor Bohland appeared to support the petition from the Girls and Boys Club of the Greater Chippewa Valley – Chippewa Falls Center for a conditional use permit to operate a boys and girls club in the existing building at 650 Bridgewater Avenue on parcel #22909-3644-07000000. Mr. Bohland stated the Boys and Girls Club had outgrown their existing facility on Grand Avenue and especially the kitchen. The presented site and floor plans allow for expanded programming and can be extended to teens. He outlined the "need" for the boys and girls club. He stated bus parking would occur in the back of the building, doors are electronically locked and secured with a secure "badged" entry. No overnight stay would be permitted and there wouldn't be any additional screening other than the existing vegetative screens around the lot perimeter. **Motion** by Rubenzer, seconded by Hiess to recommend the Plan Commission conduct a public hearing to consider a Conditional Use Permit allowing the Girls and Boys Club of the Greater Chippewa Valley – Chippewa Falls Center to operate a boys and girls club in the existing building at 650 Bridgewater Avenue on parcel #22909-3644-07000000. Said public hearing to be scheduled contingent on receipt of the appropriate \$300 advertising and administrative fee and proper notification of the adjacent property owners. **All present voting aye. Motion carried.**
4. Ken Heitman of U-Haul appeared to support the petition from U-Haul for a special use permit to install UBox storage units in the existing building at 303 E. Prairie View Road. He gave background for U-Hauls request. During two years of Covid, the UBox containers demand exploded. UBox allows for a customer to fill a UBox with items for storage at the customers residence. U-Haul then picks up the UBox and transports it to storage at a U-Haul facility until the customer wishes to access the items. This provides a contactless storage procedure. U-Haul is near capacity at its present facility. Director of Public Works Rubenzer noted that existing outdoor storage units were not built as proposed and approved in the 2017 conditional use permit. Heather Skelton appeared and stated that U-Haul would make the appearance of the storage containers similar to the existing U-Haul facility exterior. **Motion** by Tzanakis, seconded by Hubbard to recommend the Common Council schedule a public hearing to consider granting Amerco Real Estate Company a special use permit for U-Haul to install UBox storage units in the existing building at 303 East Prairie View Road upon receipt of the appropriate \$300 advertising and administrative fee and notification of adjacent property owners. **All present voting aye. Motion carried.**
5. The Plan Commission considered the attached Certified Survey Map on Garden Street between Park Avenue and 500' East of Park Avenue submitted by Professional Land Surveyor Dustin LaBlonde on behalf of CESA 10. Director of Public Works Rubenzer noted that the segment of the certified survey map had once been officially mapped but that it had been removed from the official map in 2010 after public hearing and
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determination that it was not needed for city use. He said a water main could be extended in the segment only if needed by CESA 10. Charles Schneider of CESA 10 appeared to say the certified survey map would provide room for future CESA 10 expansion if desired. **Motion** by Hubbard, seconded by Varga to recommend the Common Council approve the attached Certified Survey Map on Garden Street between Park Avenue and 500' East of Park Avenue submitted by Professional Land Surveyor Dustin LaBlonde on behalf of CESA 10 upon receipt of the proper certified survey map fees. **All present voting aye. Motion carried.**

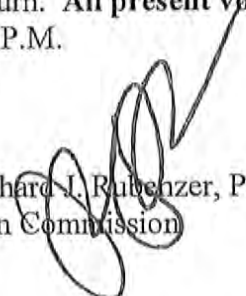
6. The Plan Commission considered the attached Certified Survey Map of Lot 4 and the Northeast 58 feet of Lot 3, Block 37 of the Chippewa Falls Plat submitted by Vreeland Associates Land Surveyors and Engineers on behalf of George Rohmeyer. Director of Public Works Rubenzer noted that revised certified survey maps were at County Surveyor Wenz's office but would be included with the Plan Commission minutes when he received them.

Motion by Rubenzer, seconded by Hubbard to recommend the Common Council approve the attached revised Certified Survey Map of Lot 4 and the Northeast 58 feet of Lot 3, Block 37 of the Chippewa Falls Plat submitted by Vreeland Associates Land Surveyors and Engineers on behalf of George Rohmeyer upon receipt of the appropriate \$300 review fee and revision of the signature block. **All present voting aye. Motion carried.**

7. The Plan Commission considered the attached Certified Survey Map of Lot 2 and a portion of vacated alley in Block 2 of Chippewa Lumber and Boom Company's Addition submitted by Vreeland Associates Land Surveyors and Engineers on behalf of George Rohmeyer.

Motion by Rubenzer, seconded by Hubbard to recommend the Common Council approve the attached revised Certified Survey Map of Lot 2 and a portion of vacated alley in Block 2 of Chippewa Lumber and Boom Company's Addition submitted by Vreeland Associates Land Surveyors and Engineers on behalf of George Rohmeyer. upon receipt of the appropriate \$300 review fee and revision of the signature block. **All present voting aye. Motion carried.**

8. **Motion** by Hubbard, seconded by Cihasky to adjourn. **All present voting aye. Motion carried.** The Plan Commission adjourned at 7:50 P.M.


Richard J. Rubenzer, P.E., Secretary
Plan Commission

PLAN COMMISSION ATTENDANCE SHEET

DATE: February 07, 2022

NAME	COMPANY REPRESENTING	ADDRESS	PHONE #	EMAIL
Heather Sinton	V-Haul		815-355-0225	
Ken Hartman	V-Haul		920-376-1719	
JEFF JONES	UHAUL		224-402-0042	
Susan Gutierrez	David's Manufacturing	504 Superior Street	715-828-1065	
Melvin Bohannon	Boys + Girls Cows		715-577-1949	
Mark Kaiser	Boys + Girls Club		715-577-8295	markaiser@clubs.org
Morie Hogan	Boys + Girls Club		715-894-7436	mhogan@clubs.org
Kris Custer	Self	1215 Mansfield St.	715-720-0878	kkcuster@hotmail.com
Kevin Custer	SELF	"	"	"
Harline Schneider	CEGA 10		715-308-1401	charlie@cesalok12.com
Notte Martell	Self	501 Superior St C/F	715-271-6989	outdoorsman233@hotmail.com

**MINUTES OF THE PLAN COMMISSION MEETING
CITY OF CHIPPEWA FALLS
MONDAY, FEBRUARY 14, 2022 – 5:30 PM**

The Plan Commission met in City Hall on Monday, February 14, 2022 at 5:30 P.M. Attending were Commissioners Dave Cihasky, Greg Misfeldt, Beth Arneberg, Jerry Smith, Alderperson Jason Hiess, Secretary Rick Rubenzer, P.E., Vice-Chairperson Tom Hubbard and Mayor Greg Hoffman. Commissioners Dennis Doughty, Mike Tzanakis and Dan Varga were absent. Also attending were Sean Bohan, P.E., A.E.C., Jordan Crusing, A.E.C. and Jeremy Skaw of Real Land Surveying.

1. Sean Bohan appeared to support the petition for a Planned Development Conditional Use Permit to add two twenty-four-unit multi-family complexes on three acres of recently annexed right-of-way and eleven additional housing units in the form of twin homes west of Jake Place. Mr. Bohan outlined the proposed increase in density of parcel six, (Park West already approved), from 4.98 units/acre to 5.63 units/acre. He stated that developer Rooney had discussed the sidewalk connection between Elm and Mansfield streets along Tropicana Boulevard with the Town of Wheaton. Commissioner Smith stated that the Chippewa County Sheriff had determined that elementary students from the Park West town homes would be bused to Hillcrest as they wouldn't be allowed to cross CTH N at Tropicana Boulevard. Concerns were expressed about the intersection of CTH N and Tropicana Boulevard. Director of Public Works Rubenzer stated that the intersection was Chippewa County jurisdiction and that the County Highway Commissioner had approved the existing Park West driveway entrance onto Elm Street in 2021 and the Plan Commission had been forwarded the approval by email. He continued that the request for the additional 48 units of multi-family should be again reviewed by Chippewa County Highway Commissioner Kelley along with Chippewa Falls Emergency Services and Chippewa Yellow Bus Company. Commissioners then discussed and came to a consensus to add those conditions to the Planned Development Conditional Use Permit. The Plan Commission also added the following conditions;

- 1) The ingress/egress access onto Bridgewater Avenue be constructed before additional building permits were issued.
- 2) Playground or an appropriate children's playground be added near the proposed two twenty-four multi-family units.
- 3) The pedestrian walk along Tropicana Boulevard be completed.
- 4) The approved storm water management plan for Park West Townhomes be revised to account for the proposed additional units and acreage and then be resubmitted to the Chippewa Falls Engineering Department.

Commissioner Hiess asked about twin home requirements and stated that Chippewa County had an existing ordinance addressing the same. Director of Public Works Rubenzer stated that presently the Chippewa Falls zoning ordinance (Chapter 17) doesn't address twin homes. Therefore, all proposed twin homes are done with a planned development conditional use permit that requires an executed maintenance agreement approved by City Inspector Lasiewicz and four other items detailed in the City of Chippewa Falls Twin Home construction requirements and standards and will be required as part of the Park West II Planned Development Conditional Use Permit.

Motion by Misfeldt, seconded by Hubbard for the Plan Commission to conduct a public hearing to consider granting a Planned Development Conditional Use Permit to Rooney Properties Wisconsin to add two twenty-four-unit multi-family complexes on three acres of recently annexed acres of former street right-of-way in the Park West Subdivision and eleven twin homes (twenty-two units) to the development east of Park West (parcel #6) contingent on:


- 1) receipt of the advertising and administrative fees
- 2) proper notification of adjacent property owners.
- 3) submission and acceptance of a revised stormwater management plan.
- 4) inclusion of the above-named conditions listed in item #1.

All present voting aye except Smith who voted no. Motion was approved on a 7-1 vote.

2. Jeremy Skaw of Real Land Surveying presented the attached Preliminary Plat for the Park West II Subdivision. In answering a question, Director of Public Works Rubenzer noted that preliminary plats are presented for an entire subdivision and then as individual phases of the development occur, final plats for that phase of the development are presented, reviewed and approved. Mr. Skaw requested that the city take ownership of maintenance of proposed storm ponds. Director of Public Works Rubenzer noted that the city typically doesn't take ownership and maintain storm ponds from private developments even though the developments may contain public street storm runoff that enters the developments stormwater ponds.

Motion by Hubbard, seconded by Misfeldt to recommend the Common Council approve the attached Preliminary Plat of Park West II Subdivision contingent on receipt of the plat review fees and submission and approval of a stormwater management plan. **All present voting aye except Smith who voted no. Motion was approved on a 7-1 vote.**

3. **Motion** by Hubbard, seconded by Cihasky to adjourn. **All present voting aye. Motion carried.** The Plan Commission adjourned at 6:35 P.M.


Richard J. Rubenzer, P.E., Secretary
Plan Commission

Planned Development Conditional Use Permit Resolution 2022-02

**CITY OF CHIPPEWA FALLS PLAN COMMISSION
RESIDENTIAL PLANNED DEVELOPMENT CONDITIONAL USE PERMIT
RESOLUTION 2022-02 FOR ROONEY PROPERTIES WISCONSIN TO DEVELOP
TWO TWENTY-FOUR UNIT APARTMENTS ON A RECENTLY ANNEXED 3 ACRE
PARCEL OF FORMER RIGHT-OF-WAY AND AN ADDITIONAL PURCHASE OF 2.13
ACRES OF FORMER RIGHT-OF-WAY AND TO REPLACE TWELVE SINGLE
FAMILY LOTS WITH TWELVE TWIN HOMES (24 UNITS), LOCATED SOUTH OF
BRIDGEWATER AVENUE, EAST OF USH 53 AND NORTH OF ELM STREET IN THE
WILLOW CREEK SUBDIVISION**

WHEREAS, on May 7, 2007, the Plan Commission conducted a public hearing and approved CUP Resolution #2007-03 (available for inspection in the City of Chippewa Falls Engineering Department) to Heartland Contractors, Inc. for a Planned Unit Development; and

WHEREAS, on May 7, 2012, the City of Chippewa Falls Plan Commission approved Conditional Use Permit Resolution #2012-03 allowing temporary row crops on phases 5-7 of the development, (approximately 46 acres); and

WHEREAS, on June 11, 2012, the City of Chippewa Falls Plan Commission approved Conditional Use Permit Resolution #2012-04 allowing changes in housing type in Phase II of the Willow Creek Subdivision plan. The approved changes were replacing 10 Single Family lots with 12 Twin Home lots and replacing 28 Single Family lots with 15 Multi-Family complexes lots;

WHEREAS, on April 7, 2014 the City of Chippewa Falls Plan Commission approved Planned Development Conditional Use Permit Resolution #2014-01 reducing 13 Single Family lots located around Brooke Court to 9 larger Single Family lots in Phase I and changing 22 Single Family lots to 30 Twin Home lots adjacent to Timber Trail in Phase III. The proposed net change for the Willow Creek Subdivision was a four unit increase resulting in 536 units in 190 acres or a 2.8 unit/acre project density.

WHEREAS, on May 7, 2018 the City of Chippewa Falls Plan Commission approved Planned Development Conditional Use Permit Resolution #2018-02 for Willow Creek Phase IV to allow a reduction of 3 Single Family lots, an addition of 6 Two-Family (12 units) lots and a reduction of 16 Single Family Bay Home lots. This results in a Phase IV project density reduction from 5.8 units/acre to 4.95 units/acre; and

WHEREAS, on February 8, 2021 the City of Chippewa Falls Plan Commission conducted a public hearing and approved Planned Development Conditional Use Permit 2021-03 allowing Rooney Properties Wisconsin and Advanced Engineering Concepts to remove 47 Bay Home Units approved in 2007, reduce single family lots from 42 to 30 and to construct ten eight-unit townhomes and ten twelve-unit townhomes in the Park West Development. The approved changes resulted in an increase from 4.52 units/acre to 4.98 units/acre on the 46.2 acre Park West parcel; and

Planned Development Conditional Use Permit Resolution 2022-02

WHEREAS, on February 14, 2022 the City of Chippewa Falls Plan Commission heard a request from Rooney Properties Wisconsin and Advanced Engineering Concepts to construct two twenty-four unit apartments on a 5.13 acre parcel of former USH #53 right-of-way and to replace twelve single family lots west of Jake Place with twelve twin homes (24 units). The request would result in a density increase from 4.98 units/acre to 5.63 units/acre.

WHEREAS, the entire Willow Creek Subdivision is zoned R-1B Single Family Residential; and

WHEREAS, the Plan Commission evaluated the development proposal in accordance with Municipal Code Section 17.26(16)(d)1 which directs such evaluation as a conditional use permit under section 17.47; and

WHEREAS, on March 7, 2022 the City of Chippewa Falls Plan Commission conducted a public hearing and approved Planned Development Conditional Use Permit Resolution #2022-02 after publication and mailing of all required public hearing notices and hearing all concerns and comments; and

NOW, THEREFORE BE IT RESOLVED, that the Plan Commission of the City of Chippewa Falls, Wisconsin finds;

1. That upon review of Planned Development Conditional Use Permit Resolution #2022-02, the development will result in a similar amount of common space and green space as the original 46.2 acre parcel layout and the additional 5.13 acres of former right-of-way and will result in a parcel project density of 5.63 units/acre.
2. The Plan Commission further finds that the revision of the 49.2 acre land use plan and increased unity density of 0.65 units per acre are not detrimental to adjacent land uses because the revisions do not present any substantial changes in land use intensity.
3. The Plan Commission further finds that the revised plat and land uses are consistent with the original purpose and intent of Conditional Use Permit Resolution #2007-03 and amended Conditional Use Permit Resolutions #2012-03, #2012-04, #2014-01, #2018-02 and #2021-03 because the lot sizes, areas, widths and setbacks represent a similar intensity of land use.

Planned Development Conditional Use Permit Resolution 2022-02

**NOW, THEREFORE, BE IT FURTHER RESOLVED BY THE PLAN
COMMISSION OF THE CITY OF CHIPPEWA FALLS, WISCONSIN:**

1) That conclusions based on the previous three findings of fact and pursuant to Chapters 17.26, 17.26.5 and 17.47 of the Code of Ordinances of the City of Chippewa Falls, that Planned Development Conditional Use Permit Resolution #2022-02 is hereby approved contingent on the following conditions:

- a) Completion, submission and approval of a revised Storm Water Management Plan.
- b) Submittal of the Park West Townhomes and Park West II plat to the Plan Commission for review using procedures set forth in State Statute 236 and Municipal Code Chapter 18 and approval by the City of Chippewa Falls Common Council.
- c) Completion and City Council approval of a Developers Agreement for Park West II.
- d) The attached narrative and general development plan in combination with changes made by the Plan Commission becomes the Final Development Plan and is available for inspection in the offices of the City Engineer and the City Inspector.
- e) The Park West II Plat, Narrative and General Development Plan, Development Standards, Typical Photos, Elevations, and Floor Plans, and existing and revised Use and Zoning site plans become part and parcel of Planned Development Conditional Use Permit Resolution # 2022-02 and are available for inspection in the City of Chippewa Falls Engineering and Inspection offices.
- f) That all proposed streets and utilities be clearly labeled as PRIVATE or PUBLIC.
- g) The Utility plan is reviewed and approved by the Chippewa Falls Engineering Department.
- h) That the Park West II subdivision be submitted to, reviewed by and approved by the Chippewa County Highway Commissioner for the southern subdivision access onto County Highway N.
- i) That the Park West II subdivision be submitted to, reviewed by and approved by the Chippewa Falls Emergency Services.
- j) That the Park West II subdivision be submitted to and reviewed by the Chippewa Yellow Bus Company for comment.
- k) That additional tot lots and other playground equipment be constructed in close proximity to the two proposed twenty-four unit apartments.
- l) That the access Drake Drive between County Highway N and Bridgewater Avenue be completed prior to any additional building permits being issued on the 46.2 acre parcel. Permits have been issued for lots 86-88 and 101-104.

Planned Development Conditional Use Permit Resolution 2022-02

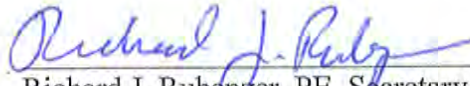
- m) That a pedestrian walk path be connected from the existing approved Park West subdivision to the proposed twenty-four unit apartments and to the existing pedestrian crossing of Elm Street (County N) at Hilary Street.
- n) Chapter 17.47(13) shall apply and this permit shall terminate if the use for which this permit is issued shall cease for a continuous two (2) year period.
- o) Modifications or changes to this permit may be made only by the Plan Commission after an application for an amendment has been duly filed and notices and hearing requirements have been complied with.

2) Further, that said revisions replace equivalent sections of the original documents of Conditional Use Permit Resolution #2007-03 and together with amendment Conditional Use Permit Resolutions #2012-03, #2012-04, #2014-01, #2018-02 and #2021-03 taken together in their entirety become Planned Development Conditional Use Permit Resolution #2022-02.

MOTION: Varga

SECONDED: Hubbard

I hereby certify that the Plan Commission of the City of Chippewa Falls, Wisconsin, adopted the above Resolution on March 7, 2022, by a vote of 7 ayes, 2 nays and 0 abstentions.


Richard J. Rubenzer, PE, Secretary
Plan Commission

**NOTICE OF PUBLIC HEARING
CONDITIONAL USE PERMIT**

Notice is hereby given that the Plan Commission of the City of Chippewa Falls will conduct a public hearing in the Council Chambers, Municipal Building, 30 West Central Street, Chippewa Falls, Wisconsin, commencing at **6:30 P.M. on Monday, March 7, 2022** regarding:

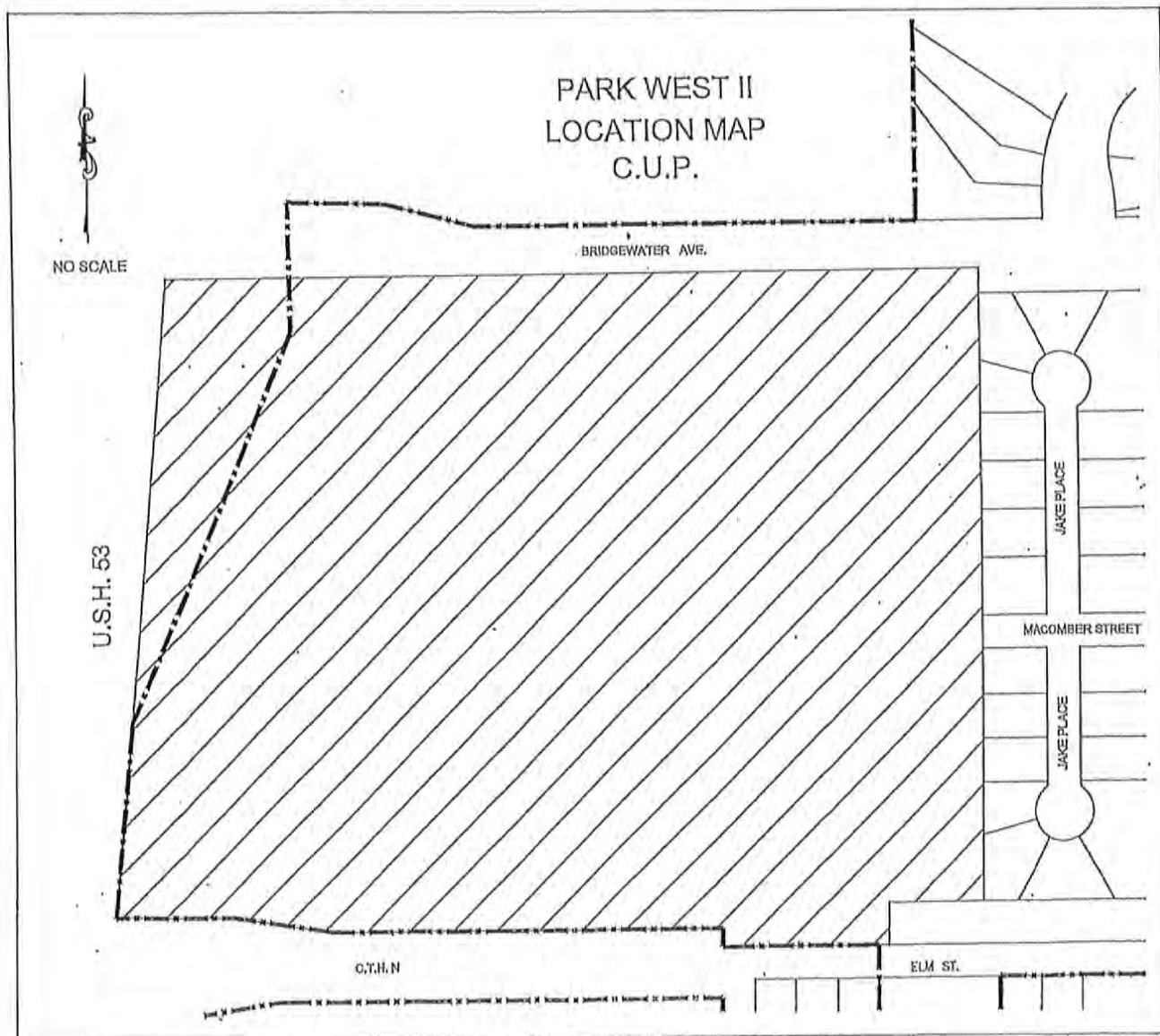
A Planned Development Conditional Use Permit Resolution to change the development in the Willow Creek Subdivision from thirty single family homes and 200 town homes to seventeen single family homes, twelve twin homes, ten 8-plex units, ten 12-plex units and two 24 multi-family units on Parcel #6, east of USH #53, north of Elm Street and south of Bridgewater Avenue.

This parcel is currently zoned R-1B Single Family Residential District with a Planned Development.

Following the hearing, the Plan Commission will consider adoption of a resolution granting the permit.

A copy of the proposed resolution with the conditions of the proposed permit may be inspected at the office of the City Engineer in the Municipal Building at 30 West Central Street during regular office hours. (8:30 A.M. to 3:30 P.M.)

Richard J. Rubenzer, P.E., Secretary
Plan Commission



Parcel 6 of Willow Creek - Park West Townhomes Conditional Use Narrative

General Description:

This Conditional-Use request consists of changing Parcel 6 in the Willow Creek Planned Development (PD) approved in 2007 and revised in 2021 from 30 Single-Family lots and 200 Townhomes (230 units total) to 17 Single-Family lots, 12 Twin-Homes, and 248 Multi-Family (289 units total). Note that there will be an additional 5.13-acres added to this PD that was previously DOT right-of-way.

Purpose:

The Willow Creek Neighborhood has seen growth/development over the past 8 years with the addition of the Phase 2 townhomes, Phase 3 two-family lots, Phase 4 single-family and two-family lots, and the addition of the Park West Townhomes in 2021 (under construction). From 2011-2014 Phase 2 of the development constructed 15 townhome buildings. Over the past 6-years these buildings have remained occupied with waiting lists during many of the months. Modifying Parcel 6 to provide additional twinhomes and apartments will provide the inventory that is necessary for this area. It should be noted that this project will be completed in Phases to not open to many units and thus exceed the demand.

The largest modification to the existing PD will be the addition of 5.13-acres (193.57-acres), the increase in twinhome units (24), and the addition of (2) 24-unit apartments (48 units total).

PD Density:

The total area within Parcel 6 is now 51.33 acres. The density under the current PD is 4.98 units per acre; the density under the proposed PD would be 5.63 units per acre.

	Original PD	1 st Revision PD	Current PD 2021	Proposed PD	Difference from Current PD
Total Area of Site	188.4362 ac	188.4362 ac	188.4362 ac	193.5662 ac	+5.13-acres
Total Number of Home Sites	536	529	550	609	+59 (+73 from Original PD)
Number of SF Lots	168	165	153	140	-13 (-28 from Original PD)
Number of Two-Family Buildings	51 (102 Units)	57 (114 Units)	57 (114 Units)	69 (138 Units)	+24 units (+36 from Original PD)
Number of Apartment Homes	120	120	0	48	+48 (-72 from Original PD)
Number of Bayhomes	78	62	15	15	0 (-63 from Original PD)
Number of Townhomes	68	68	268	268	0 (+200 from Original PD)

Parks & Common Open Space:

The parks and common open space within the current Willow Creek PD will stay virtually unchanged with the modifications within Parcel 6. There are ponds, parks, trails, a basketball court, fountains, and a playground within the parks and open space. Currently there is 49.7 acres of parks/common space within the approved PD. The modifications within Parcel 6 will incorporate both a wet pond and infiltration basin in addition to open space with trails and park amenities such as tot lots and sports courts. It should also be known that the developer is also proposing a club house with Parcel 6.

Civil Engineering Design:

The civil engineering design for the project will follow the City of Chippewa Falls and the State of Wisconsin design criteria. All required permits will be obtained through the state and city. Design plans incorporating proper drainage, street design, street signage, and street lighting will be submitted to the City of Chippewa Falls for approval.

Summary:

The modifications within Parcel 6 will provide additional apartments and Twinhomes inventory that is necessary while also providing for Single-family and Townhome lots in the Willow Creek neighborhood. The numbers below are all based on the Current PD.

- The total number of home sites in the Willow Creek Neighborhood will be increased by 59.
- The total number of Single-Family lots decreased by 13.
- The total number of Two-Family units increased by 24.
- The total amount of Apartment units increased by 48
- The total number of Bayhome lots remained the same.
- The total amount of Townhomes remained the same.

VICINITY MAP/LEGAL DESCRIPTION

Map

Printed 01/31/2022

Scale = 1:381'



Disclaimer: This map is a compilation of records as they appear in the Chippewa County Offices affecting the area shown and is to be used only for reference purposes.

Map

Printed 12/30/2020

Scale = 1:438'



CHIPPewa COUNTY
ILLINOIS



Disclaimer: This map is a compilation of records as they appear in the Chippewa County Offices affecting the area shown and is to be used only for reference purposes.



C.U.P. Resolution #07-05

RECEIVED
 MAR 5 2007
 PUBLIC WORKS DIRECTOR
 CHIPPEWA FALLS, WI

Parcel 5:

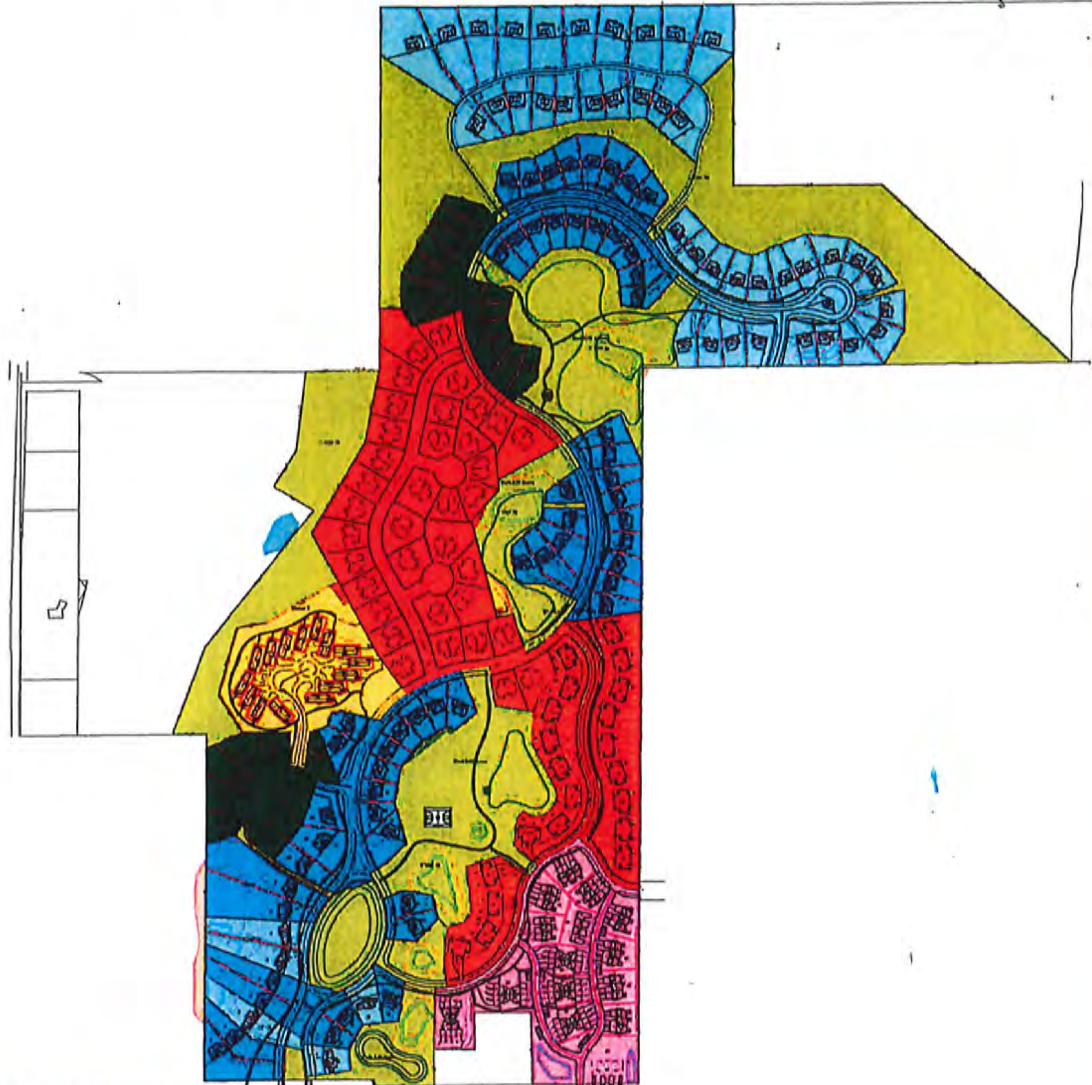
A PARCEL OF LAND IN THE NW $\frac{1}{4}$ OF THE SE $\frac{1}{4}$ AND THE SW $\frac{1}{4}$ OF THE SE $\frac{1}{4}$, SECTION 36, T36N, R9W, CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN BEING FURTHER DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION; THENCE N00°38'51"E ALONG THE NORTH-SOUTH QUARTER LINE, A DISTANCE OF 2636.80 FEET TO THE NORTHWEST CORNER OF THE SE $\frac{1}{4}$ OF SAID SECTION; THENCE N89°38'24"E ALONG THE NORTH LINE OF SAID SE $\frac{1}{4}$, A DISTANCE OF 990.15 FEET; THENCE S00°38'51"W PARALLEL WITH SAID QUARTER LINE, A DISTANCE OF 2634.62 FEET TO THE SOUTH LINE OF SAID SECTION QUARTER; THENCE S°89'30"50W ALONG THE SOUTH LINE OF SAID SECTION QUARTER, A DISTANCE OF 394.24 FEET; THENCE N01°17'50"W, A DISTANCE OF 296.21 FEET; THENCE S89°30'50"W, A DISTANCE OF 215.80 FEET; THENCE S01°17'50"E, A DISTANCE OF 131.38 FEET; THENCE S89°30'50W, A DISTANCE OF 155.31 FEET; THENCE S01°17'50"E, A DISTANCE OF 164.83 FEET TO THE SOUTH LINE OF SAID QUARTER SECTION; THENCE S89°30'50"W, ALONG THE SOUTH LINE OF SAID SE $\frac{1}{4}$ A DISTANCE OF 224.84 FEET TO THE POINT OF BEGINNING.

Parcel 6:

A PARCEL OF LAND LOCATED IN THE NW $\frac{1}{4}$ OF THE NW $\frac{1}{4}$ AND NE $\frac{1}{4}$ OF THE NW $\frac{1}{4}$; SECTION 1, T28N, R9W, CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN BEING DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION; THENCE S.89°29'36"W, ALONG THE NORTH LINE OF SAID SECTION, 496.57 FEET; THENCE S.00°00'20"W, 81.80 FEET TO THE SOUTH LINE OF BRIDGEWATER AVENUE AND THE POINT OF BEGINNING; THENCE CONTINUING S.00°00'20"W, 1206.08 FEET; THENCE S.89°35'23"W, 198.01 FEET; THENCE S.00°01'49"W, 85.36 FEET TO THE NORTH LINE OF ELM STREET; THENCE S.89°37'49"W, ALONG SAID NORTH LINE 272.21 FEET; THENCE N.61°56'38"W, 79.96 FEET; THENCE N.89°35'51"W, 795.10 FEET; THENCE N.80°52'01"W, 202.24 FEET; THENCE N.89°23'52"W, 242.11 FEET TO THE EAST LINE OF USH 53; THENCE N.04°52'36"E, ALONG SAID EAST LINE, 389.75 FEET; THENCE N.23°18'24"E, ALONG SAID EAST LINE, 845.69 FEET TO THE SOUTH LINE OF BRIDGEWATER AVENUE; THENCE S.89°11'03"E, ALONG SAID SOUTH LINE, 189.87 FEET; THENCE N.73°55'23"E, 208.18 FEET; THENCE S.89°37'46"E, 300.32 FEET; THENCE N.84°36'19"E, 100.50 FEET; THENCE S.89°00'37"E, 619.89 FEET TO THE POINT OF BEGINNING.

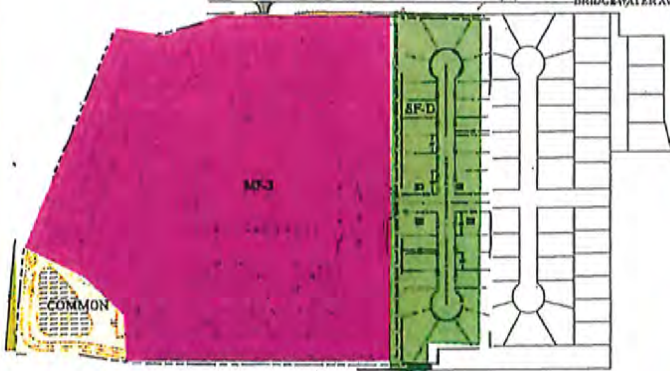
PLANNED DEVELOPMENT MAPS

Willow Creek PD Zoning Map With Park West Townhomes Revisions



WILLOW CREEK

BRIDGEWATER AVENUE



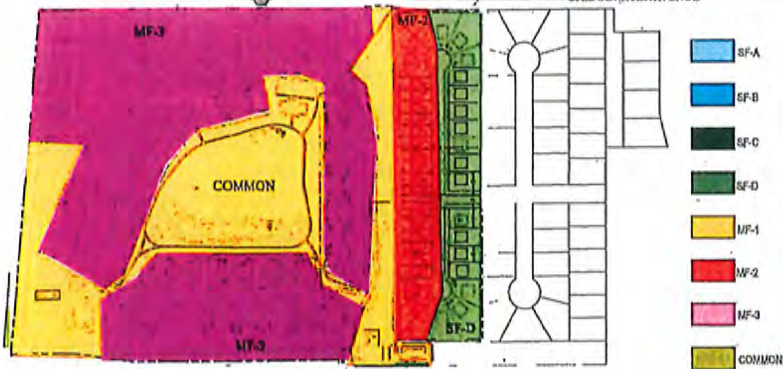
- SF-A
- SF-B
- SF-C
- SF-D
- MF-1
- MF-2
- MF-3
- COMMON

Rick Harrison Site Design Studio
www.rickharrison.com 715.585.8053 Copyright 2012 MHD

Developer: Westwood Land Company, LLC
13167 County OO
Chippewa Falls, WI 54729



Willow Creek PD Zoning Map With Park West Townhomes Revisions



- SF-A
- SF-B
- SF-C
- SF-D
- MF-1
- MF-2
- MF-3
- COMMON

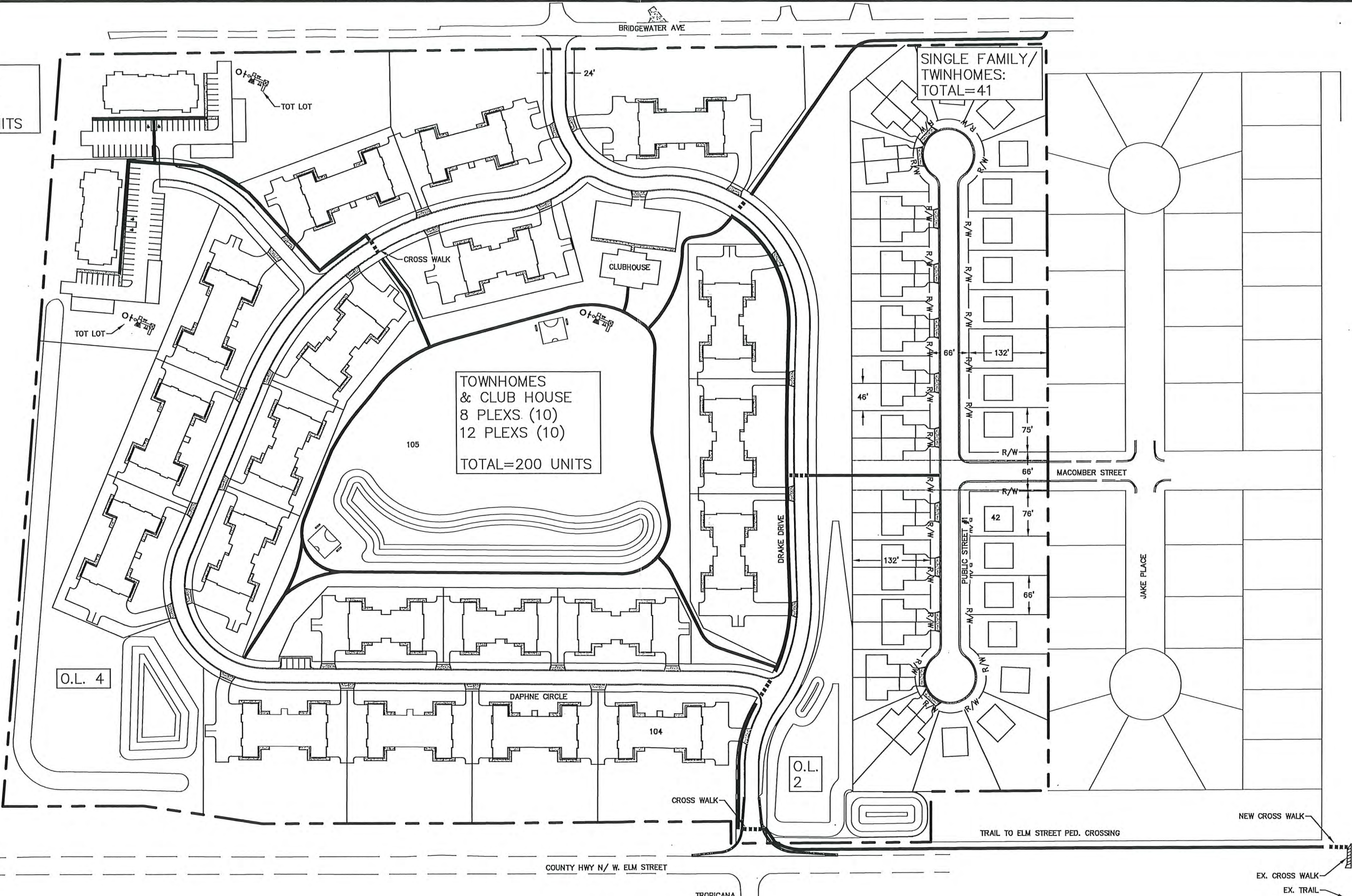


SITE PLAN

APARTMENTS
24 UNITS (2)
TOTAL=48 UNITS

SINGLE FAMILY/
TWINHOMES:
TOTAL=41

TOWNHOMES
& CLUB HOUSE
8 PLEXS. (10)
12 PLEXS. (10)
TOTAL=200 UNITS



O.L. 4

O.L. 2

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
21020



ADVANCED ENGINEERING CONCEPTS
1360 INTERNATIONAL DR, SUITE #1
EAU CLAIRE, WI 54701
PH: 715-552-0330
Info@aec.engineering
COPYRIGHT 2022 AEC LLC.

SITE PLAN

PARK WEST II
ROONEY/C&M
MACOMBER STREET
CHIPPEWA FALLS, WI

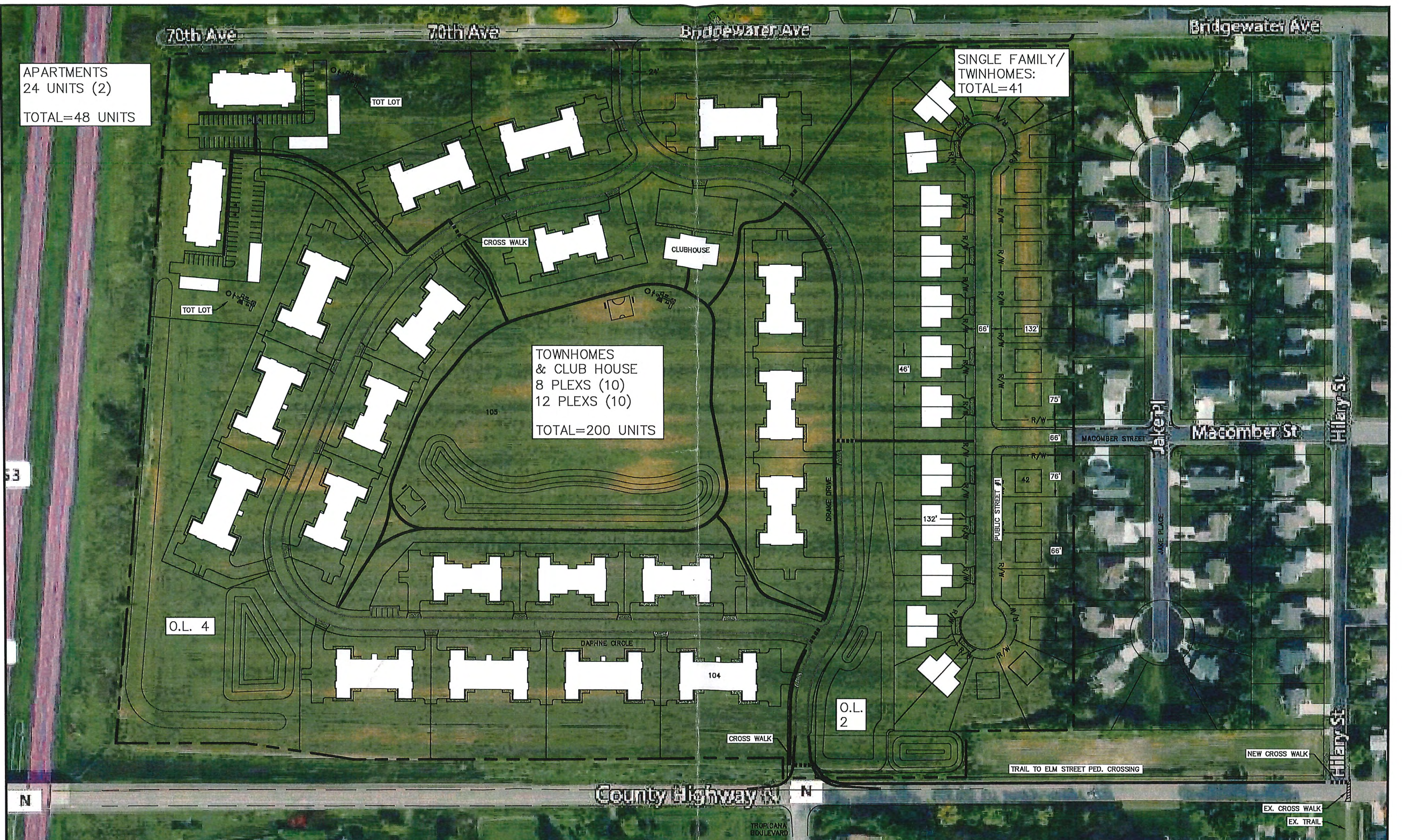
DWG NAME
21020 PGI
SITE
DATE
03/2022

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1

APARTMENTS
24 UNITS (2)
TOTAL=48 UNITS

SINGLE FAMILY/
TWINHOMES:
TOTAL=41

TOWNHOMES
& CLUB HOUSE
8 PLEXS (10)
12 PLEXS (10)
TOTAL=200 UNITS



NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
21020



ADVANCED ENGINEERING CONCEPTS
1380 INTERNATIONAL DR, SUITE #1
EAU CLAIRE, WI 54701
PH: 715-552-0330
Info@aec.engineering
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SITE PLAN

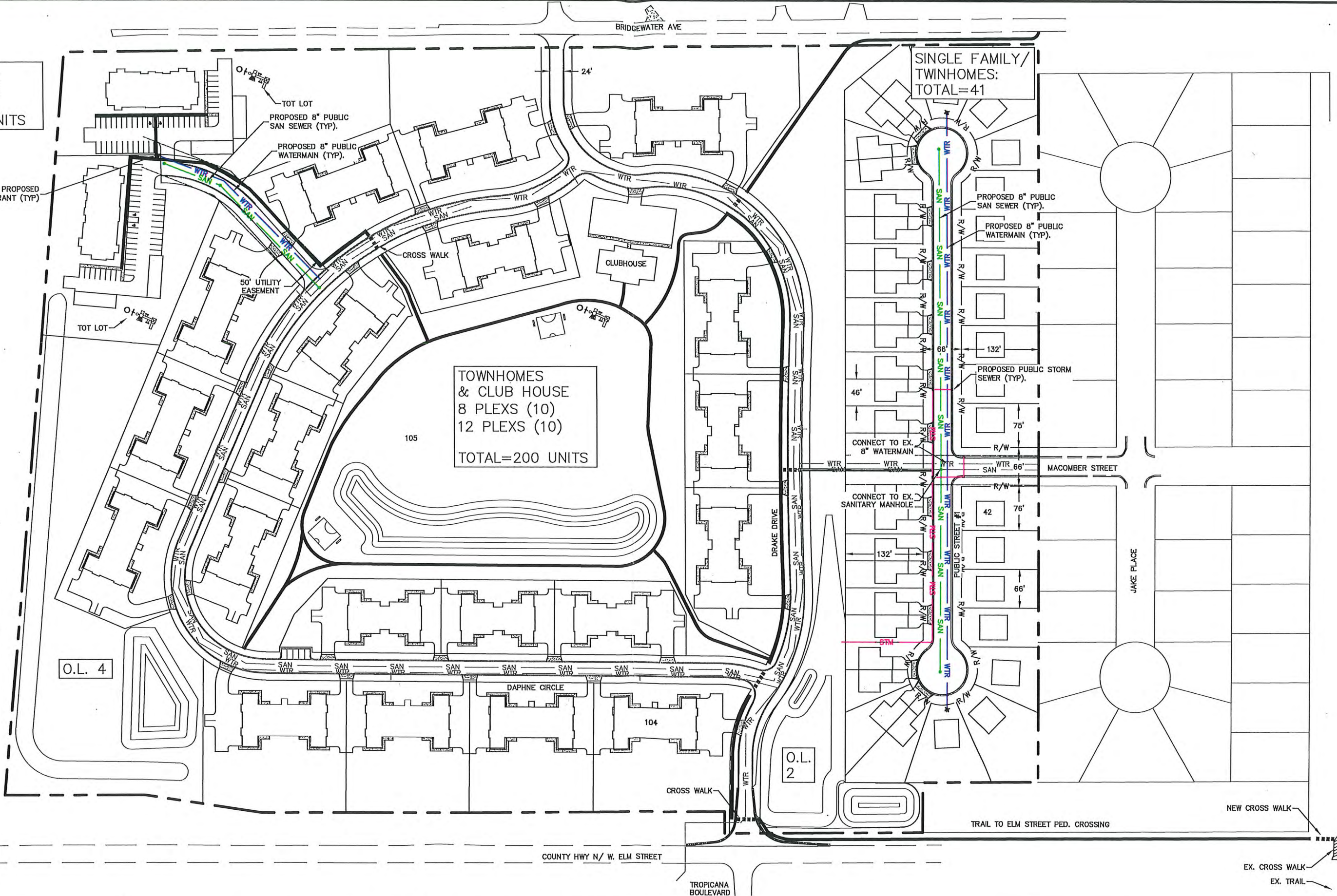
PARK WEST II
ROONEY/C&M
MACOMBER STREET
CHIPPEWA FALLS, WI

DWG NAME 21020 PGI SITE	1
DATE 03/2022	1

APARTMENTS
24 UNITS (2)
TOTAL=48 UNITS

SINGLE FAMILY/
TWINHOMES:
TOTAL=41

TOWNHOMES
& CLUB HOUSE
8 PLEXS (10)
12 PLEXS (10)
TOTAL=200 UNITS



NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
21020



ADVANCED ENGINEERING CONCEPTS
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EAU CLAIRE, WI 54701
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Info@aec.engineering
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SITE PLAN W/ UTILITY CONCEPT

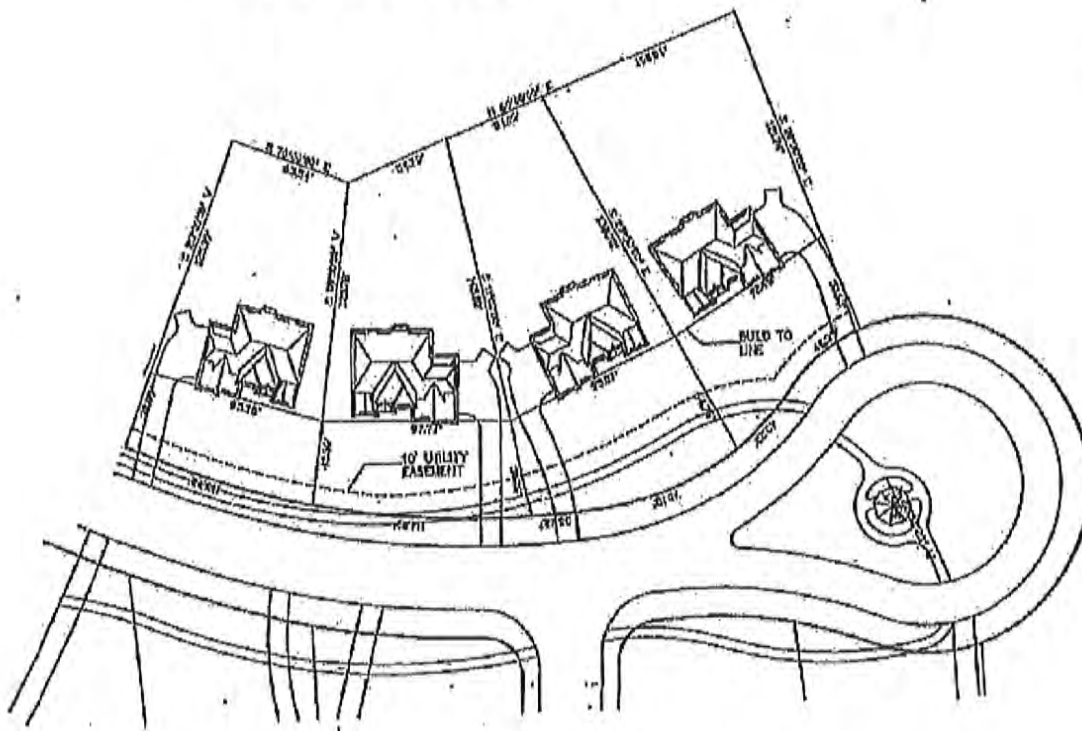
PARK WEST II
ROONEY/C&M
MACOMBER STREET
CHIPPEWA FALLS, WI

DWG NAME
21020 PG1
SITE
DATE
03/2022

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1

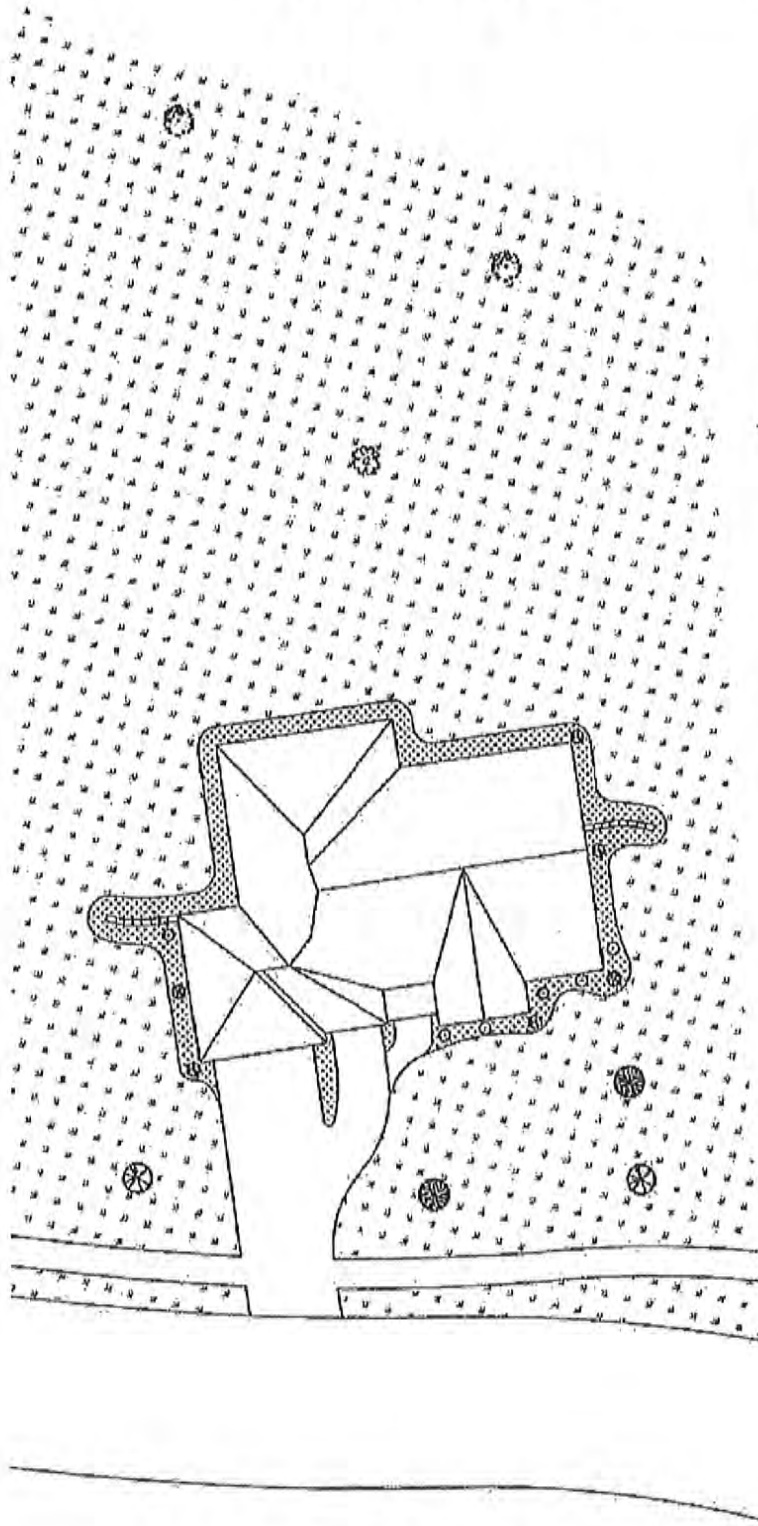
SINGLE-FAMILY

Willow Creek Single Family Building Standards



Lot Standards	Primary Use
Land Use	Single Family Dwelling
Required Yards:	
Front –	Build To Line
Rear –	30 Feet
Side –	6 Feet
Parking	2 Per Dwelling Unit
Maximum Building Height	35 Feet
Allowed Yard Encroachments	Stairs, Stoops, Bay Windows, Eave Overhangs, Patios, Chimneys, Fireplaces, Driveways, Sidewalks, and Landscaping

Willow Creek Typical Landscaping Plan



Symbol	Description	Quantity
	Gross	
	Rock Mulch	
	Colorado Spruce	
	Oak Tree	
	Sugar Maple	
	Ash	
	Spirea	
	Hydrangea	
	Dogwood	
	Arborvitae	
	Retaining Wall	





TWINHOME

CITY OF CHIPPEWA FALLS TWIN HOME CONSTRUCTION REQUIREMENTS AND STANDARDS

The Twin Home is intended to provide for development of zero lot line twin home development. Ownership of each unit will be on separate deeds. Compliance with State of Wisconsin one (1) and two (2) family Uniform Dwelling Code for attached units is required.

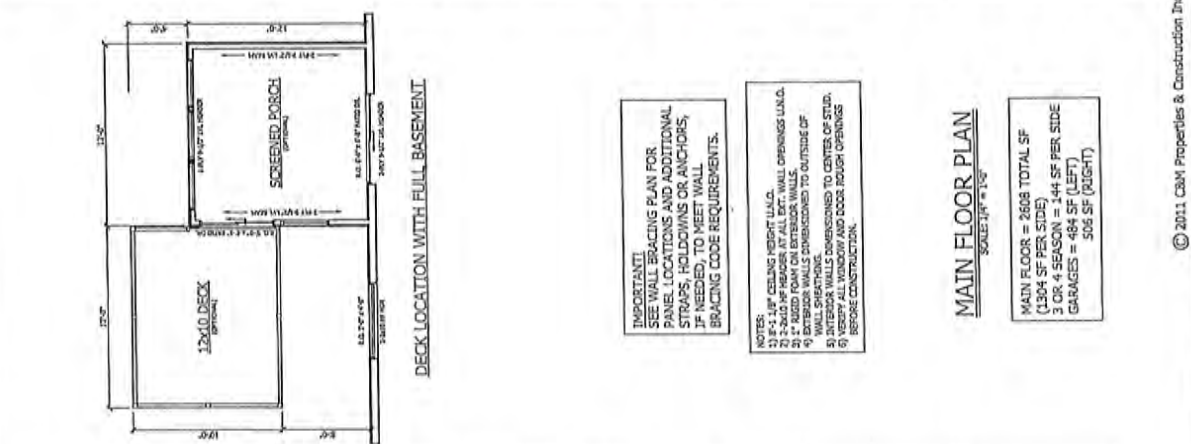
- A. The plans specification and construction shall require the installation and construction of separate sewer, water and other utility services to each twin home dwelling.
- B. Both lots containing attached twin home dwellings shall be held under the same ownership until the completion of construction of the twin home dwellings.
- C. A maintenance agreement (party wall agreement), approved by the City Zoning Administrator, shall be entered into by the owners of the attached twin home dwelling in order to ensure that equal and reasonable maintenance and repairs are performed on the attached twin home dwellings. Alternatively, provisions for maintenance of common walls may be incorporated into applicable covenants to be reviewed and approved by the City. Such agreements or covenants shall be recorded in the Chippewa County Register of Deeds.
- D. Easements necessary for water, sewer and utility services and the maintenance agreement shall be recorded with the Chippewa County Register of Deeds prior to occupancy.
- E. The exterior (such as siding), and roof materials on each attached twin home dwelling shall be the same color, quality and consistency.
- F. A joint or attached driveway serving the attached twin home dwelling is permitted provided covenants addressing the maintenance of such driveways are in a form approved by the Department.
- G. A minimum fire wall separation complying with SPS 321.08, Wis. Adm. Code, providing a vertical separation of all areas from the lowest level to flush against the underside of the roof, is required between each dwelling unit.
- H. A statement shall be placed on the face of all Twin Home plats creating twin home dwelling lots stating; "When two attached, single family dwelling units are created, matters of mutual concern to the adjacent property owners, due to construction, catastrophe and/or maintenance, shall be guarded against by private agreements, covenants and deed restrictions and the City of Chippewa Falls shall not be responsible for the same."

These ground anchors are not provided by an Anchor as shown on drawings. The contractor is responsible for providing and installing the anchors in accordance with the manufacturer's instructions. The contractor is responsible for obtaining all necessary permits and approvals for the anchors. The contractor is responsible for ensuring that the anchors are installed in accordance with the manufacturer's instructions. The contractor is responsible for ensuring that the anchors are installed in accordance with the manufacturer's instructions.

CM14-KB
3 / 5

The Kennedy
CM Properties & Construction Inc.
Webster, Connecticut
Phone: 715-874-4225
Fax: 715-874-4225
E-mail: info@thekennedy.com
1005 Maple Lane
Westfield, MA 01085

DATE	CM14-KB
SCALE	3 / 5
PROJECT	
NO.	
BY	
CHECKED	
DATE	
SCALE	



NOTE: SEE WALL BRACING PLAN FOR PANEL LOCATIONS AND ADDITIONAL STRAPS, HOLD-DOWNS OR ANCHORS, IF NEEDED, TO MEET WALL BRACING CODE REQUIREMENTS.

- NOTES:
- 1) 1" x 4" CEILING HEIGHT L.I.D.
 - 2) 2x4x8 PF BEAMER AT ALL EXT. WALL OPENINGS U.A.D.
 - 3) 2" RIGID FOAM ON EXTERIOR WALLS.
 - 4) 2x4x8 PF BEAMER ON INTERIOR WALLS.
 - 5) INTERIOR WALLS DIMENSIONED TO CENTER OF STUD.
 - 6) VERIFY ALL WINDOW AND DOOR ROUGH OPENINGS BEFORE CONSTRUCTION.

MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

MAIN FLOOR = 2608 TOTAL SF
(1304 SF PER SIDE)
3 OR 4 SEASON = 144 SF PER SIDE
GARAGES = 484 SF (LEFT)
506 SF (RIGHT)

NOTE: HALF SCALE REDUCTION IF PRINTED ON 11X17 SIZE PAPER

© 2011 CBM Properties & Construction Inc.

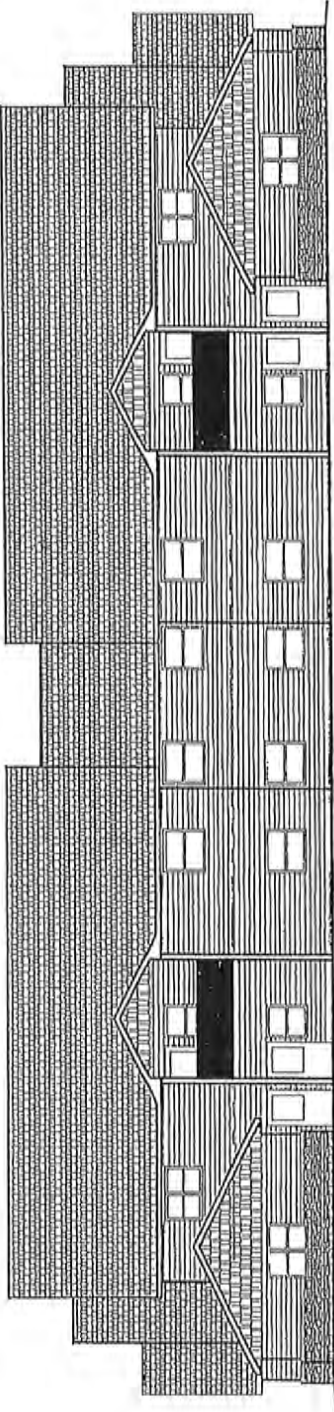
8-UNIT TOWNHOME

ROBERT D. JOHNSON ARCHITECT
5201 STONWOOD DRIVE
EAU CLAIRE, WISCONSIN 54903
715.828.8330
RDJOHNSON@AOL.COM

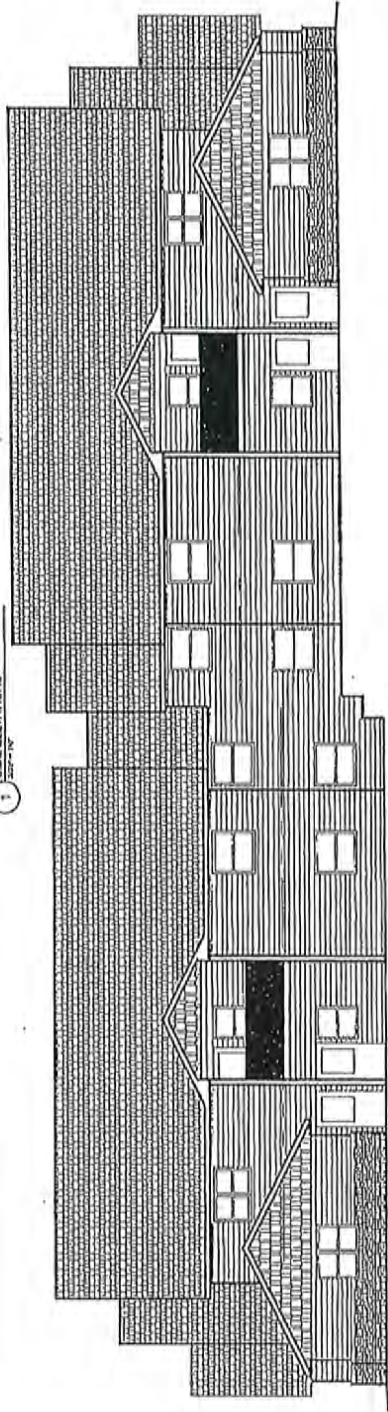
8-PLEX

ELEVATIONS

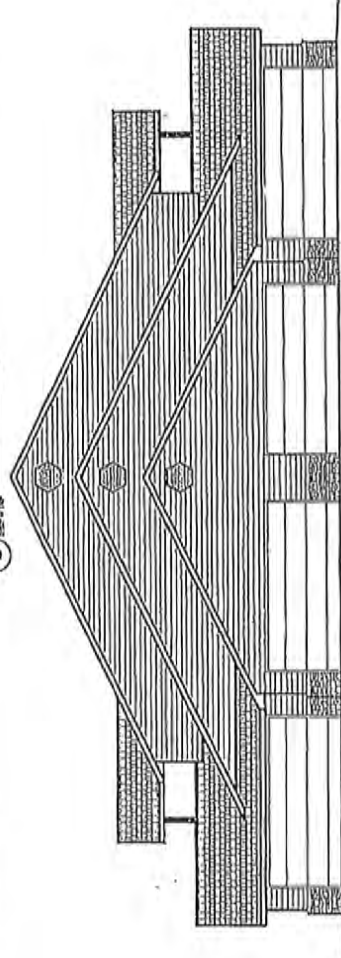
SCALE
A3



1 SIDE ELEVATIONS
22'-0" x 12'



2 SIDE ELEVATIONS
22'-0" x 12'



3 END ELEVATIONS
22'-0" x 12'



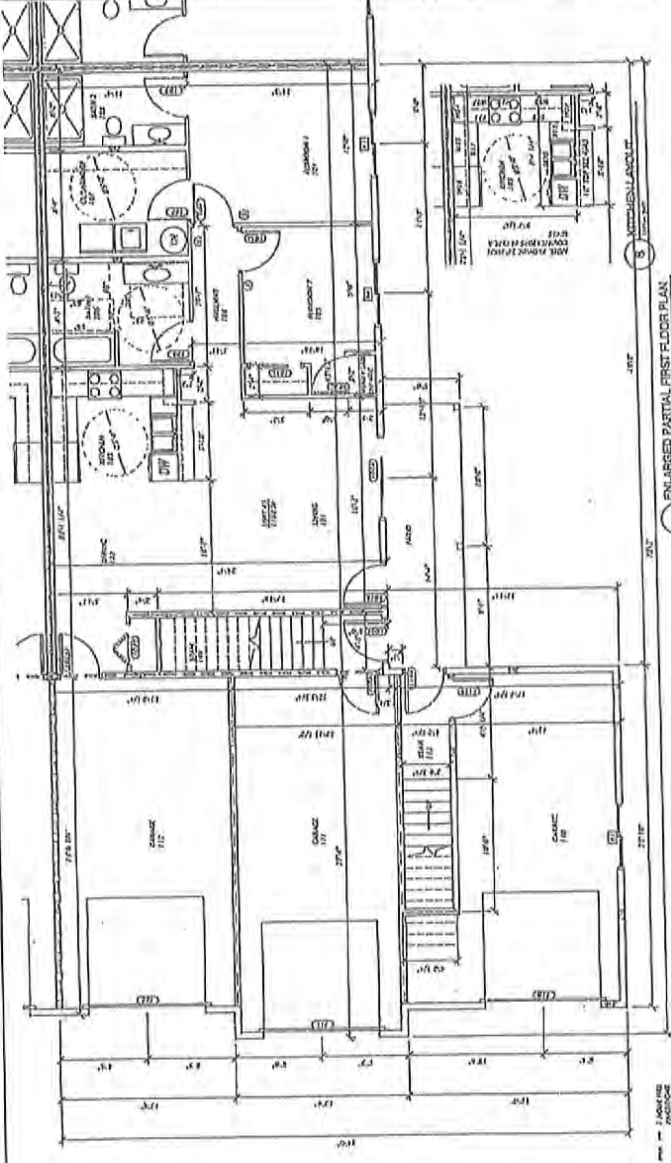
12-UNIT TOWNHOME

ROBERT D. JOHNSON ARCHITECT
 5201 STONWOOD DRIVE
 5TH FLOOR, WISCONSIN 53705
 RDARCHITECT@GMAIL.COM

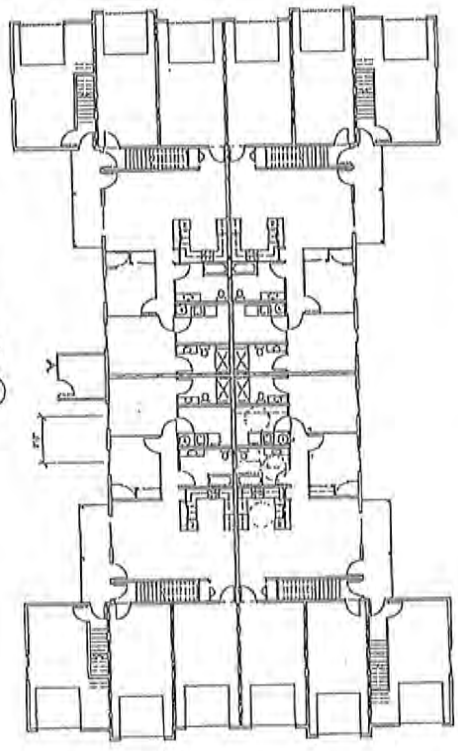
12-FLX 20 PROROOM NFA-13K

FIRST FLOOR PLANS

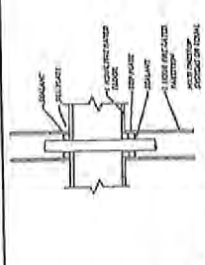
7-3-19
 A2



2 ENLARGED PARTIAL FIRST FLOOR PLAN



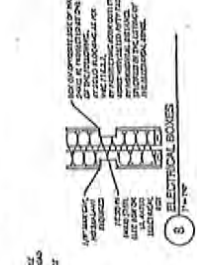
1 OVERALL FIRST FLOOR PLAN



4 PIPE PENETRATION THRU WALL



5 PIPE PENETRATION THRU FLOOR



6 CEILING PENETRATION DETAILS



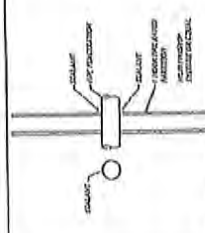
7 ELECTRICAL BOXES



8 DRAIN PIPE PENETRATION



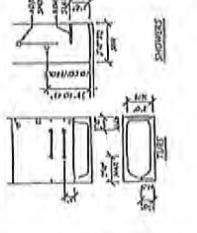
9 GRAB BAR BLOCKING DETAILS



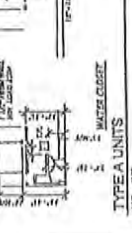
10 TYPE A UNITS



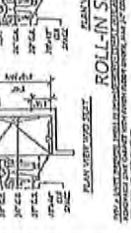
11 MAIN WATER PIPE



12 ROLL-IN SHOWER DETAILS



13 GRAB BAR BLOCKING DETAILS



14 GRAB BAR BLOCKING DETAILS



15 GRAB BAR BLOCKING DETAILS

ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
 ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL EXAMINERS' ASSOCIATION (IMC) AND THE NATIONAL ELECTRICAL CODE (NEC).
 ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND HEATING EXAMINERS' ASSOCIATION (IPHEA) AND THE NATIONAL PLUMBING CODE (NPC).
 ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND MARINE EXAMINERS' ASSOCIATION (IFMA) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.

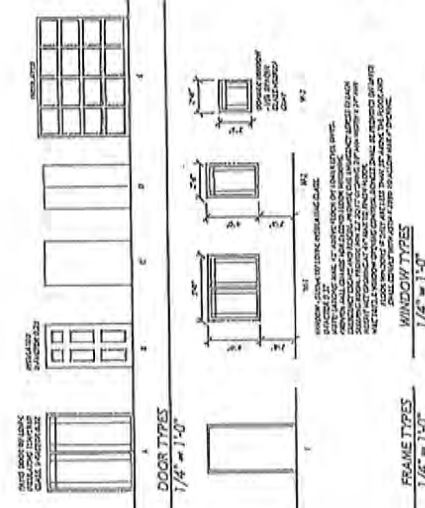
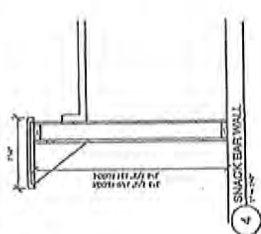
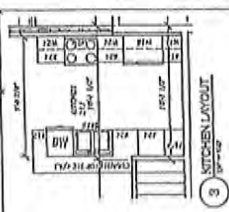
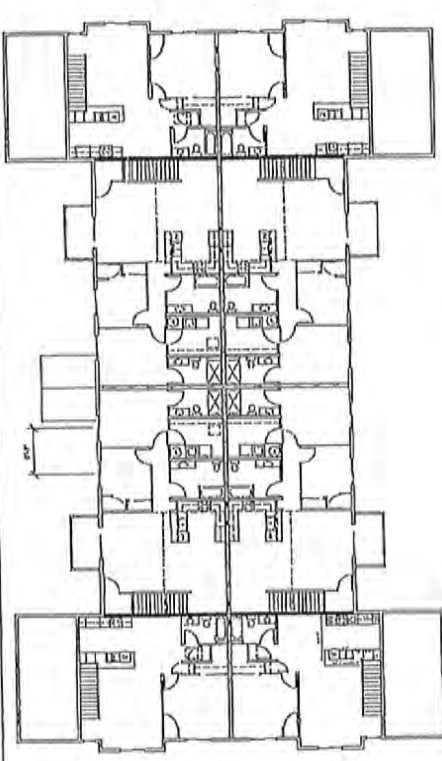
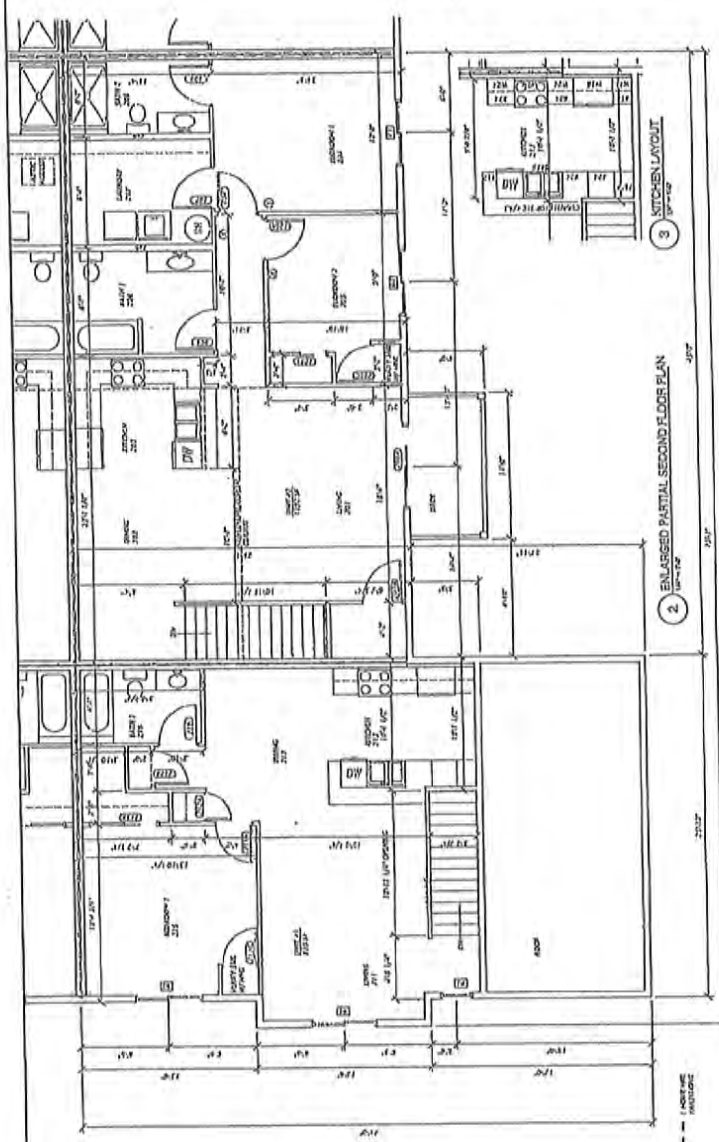
ROBERT D. JOHNSON ARCHITECT
 8201 STONWOOD DRIVE
 EAU CLAIRE, WISCONSIN 54601
 715.838.8338
 RDJA@ARCHITECTROGMAH.COM

Architectural
 1000 Wisconsin Ave
 Suite 1000
 Madison, WI 53706
 608.261.1111

1-2-FLEX, 20 BEDROOM NFA-1-3R
 BUILDGES 222

SECOND FLOOR PLANS
 SCHEDULES

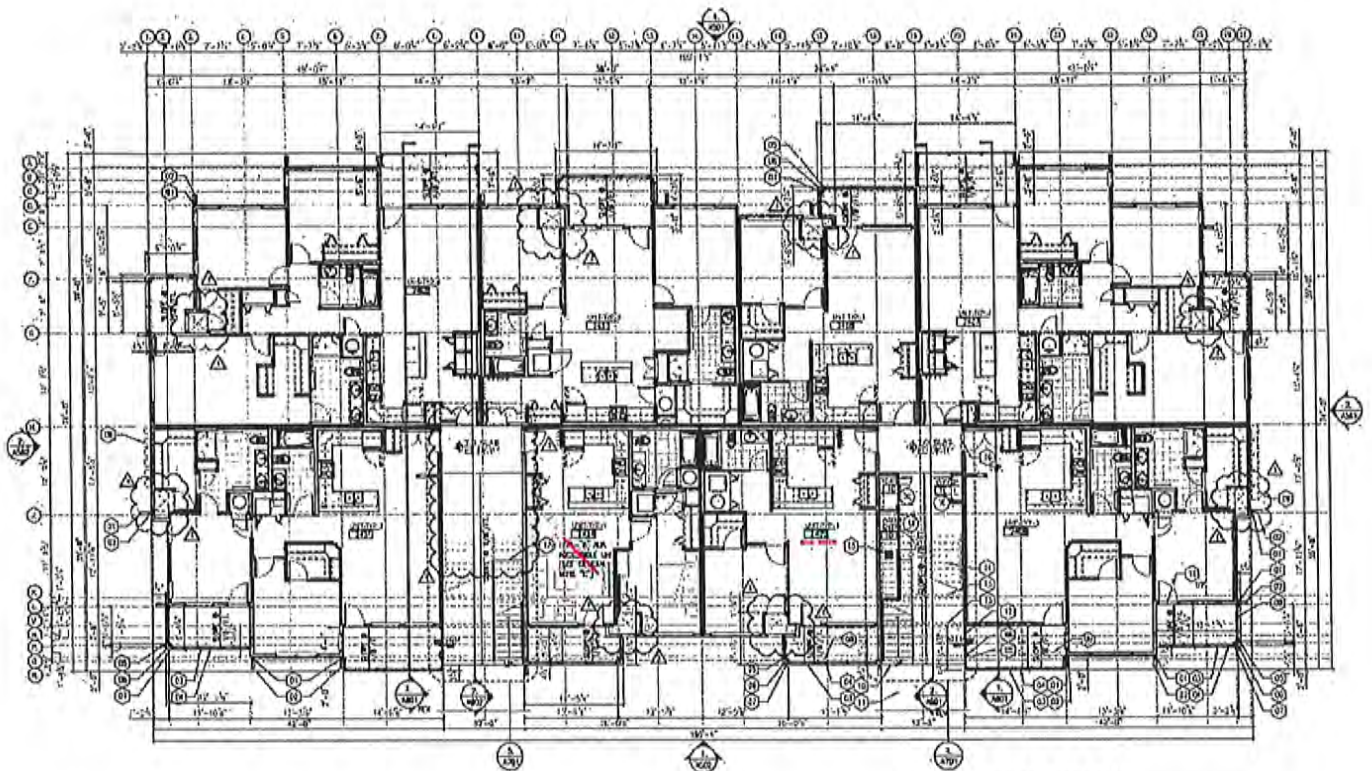
7-3-19
 A3



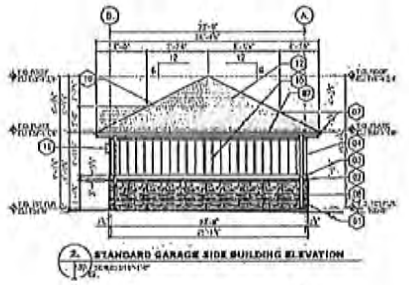
DATE: 7/3/19 10:00 AM



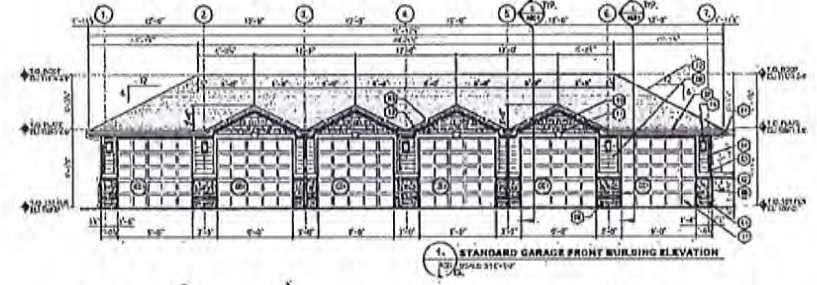
24-UNIT APARTMENT



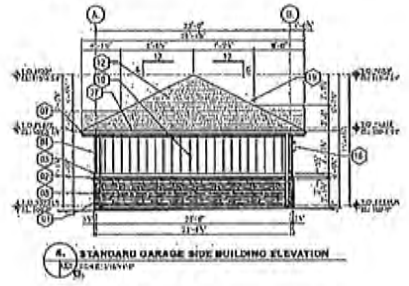
1. OVERALL 1ST FLOOR PLAN
SCALE 1/8" = 1'-0"



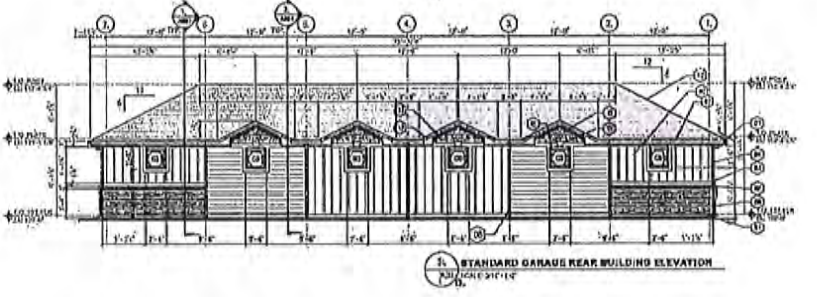
2. STANDARD GARAGE SIDE BUILDING ELEVATION
SCALE 1/8" = 1'-0"



3. STANDARD GARAGE FRONT BUILDING ELEVATION
SCALE 1/8" = 1'-0"



4. STANDARD GARAGE SIDE BUILDING ELEVATION
SCALE 1/8" = 1'-0"



5. STANDARD GARAGE REAR BUILDING ELEVATION
SCALE 1/8" = 1'-0"

**CITY OF CHIPPEWA FALLS PLAN COMMISSION CONDITIONAL
USE PERMIT RESOLUTION 2022-03 GRANTING A CONDITIONAL
USE PERMIT TO OPERATE A BOYS AND GIRLS CLUB ON PARCEL
#22909 3644 07000000 LOCATED AT #650 BRIDGEWATER AVENUE**

WHEREAS, on August 9, 1982, the City of Chippewa Falls Plan Commission approved Conditional Use Permit Resolution No. 1982-02 allowing the operation of a private lodge in a building located at #650 Bridgewater Avenue in a single family residential district; and

WHEREAS, on February 10, 2020, the City of Chippewa Falls Plan Commission approved Conditional Use Permit Resolution No. 2020-01 allowing River City Community Church to operate a Christian church on Parcel #22909 3644 07000000 located at #650 Bridgewater Avenue; and

WHEREAS, at its February 7, 2022 meeting, the City of Chippewa Falls Plan Commission heard a request from Board Member Trevor Bohland of the Boys and Girls Club of the Greater Chippewa Valley to use the existing building on Parcel #22909 3644 07000000 located at #650 Bridgewater Avenue to operate a Boys and Girls Club. Mr. Bohland stated that existing facility locations had been outgrown and that an improved kitchen and facilities was necessary; and

WHEREAS, Parcel #22909 3644 07000000 on which #650 Bridgewater Avenue is located is presently zoned as R-1A Single Family Residential Zoning District; and

WHEREAS, the use of a parcel as a Boys and Girls Club is a conditional use in a R-1A Single Family Residential Zoning District as set forth in City of Chippewa Falls Municipal Code Chapter 17.20(8)(c); and

WHEREAS, the City of Chippewa Falls Plan Commission has reviewed and evaluated the request of the Boys and Girls Club of the Greater Chippewa Valley for a Conditional Use Permit to operate a Boys and Girls Club on Parcel #22909 3644 07000000; and

WHEREAS, the City of Chippewa Falls Plan Commission conducted a public hearing on Monday, March 7, 2022 at 6:30 P.M. to hear all concerns about requested Conditional Use Permit Resolution No. 2022-03 after proper notification of all adjacent property owners within 150 feet of the parcel and the publishing of a Class II notice for the said public hearing.

WHEREAS, the Plan Commission finds the following facts:

- a) Using parcel # 22909 3644 07000000 as a Boys and Girls Club would not be detrimental to the health, welfare, and character of the existing neighborhood.
- b) Such other findings of fact related to the proposed amendment, which are made after hearing on the record.

NOW, THEREFORE, BE IT RESOLVED BY THE PLAN COMMISSION OF THE CITY OF CHIPPEWA FALLS, WISCONSIN that pursuant to Chapter 17.20(8)(c) of the Code of Ordinances of the City of Chippewa Falls, Wisconsin, that a Conditional Use Permit is hereby issued for the Boys and Girls Club of the Greater Chippewa Valley to operate a Boys and Girls Club on parcel #22909 3644 07000000 located at #650 Bridgewater Avenue under the following conditions:

- a. That the Boys and Girls Club of the Greater Chippewa Valley be permitted to be operate in the existing building on Parcel #22909 3644 07000000 located at #650 Bridgewater Avenue.
- b. That the 26 existing parking spaces be provided in accordance with Chapter 17.41 Parking Space Requirements, of the Zoning Code and bus parking be permitted in the back of the building.
- c. That the hours of operation be 7:30am-6:00pm (summer) and 3:00pm – 7:00pm during the school year, Monday through Friday.
- d. That twenty-three part-time and four full time employees be permitted.
- e. That the Boys and Girls Club operation be allowed in the existing 9,000 square foot building and 6,600 square foot addition.
- f. That the building be electronically secured with a badged entrance.
- g. That a maximum of 200 residents ages 8-18 be permitted.
- h. That the existing vegetative screen be maintained.
- i. That the lights be upgraded shown on the attached site plan.
- j. That one monument sign, not to exceed 5' high x 10' wide, be allowed and placed according to the attached site layout.
- k. That the approved site plan, which is attached hereto, and made an integral part of the Conditional Use Permit be maintained in both the City of Chippewa Falls Engineering Department Office and the City of Chippewa Falls Building and Inspection Office.
- l. Except as specifically provided herein, all regulations of the City Zoning Code shall apply.
- m. That this permit shall become null and void by non-compliance with this permit or related Codes or by application to the Board of Appeals for any Code variance at these premises.
- n. Chapter 17.47 (13) shall apply and this permit shall terminate if the use for which this permit is issued shall cease for a continuous two year period.
- o. Modifications or changes to this permit may be made only by the Plan Commission after an application for an amendment has been duly filed and notices and hearing requirements have been complied with.

MOTION: Tzanakis

SECONDED: Harris

I hereby certify that the Plan Commission of the City of Chippewa Falls, Wisconsin, adopted the above Resolution on March 7, 2022 by a vote of 9 ayes, 0 nays, and 0 abstentions.

ATTEST: Richard J. Rubenzer
Richard J. Rubenzer, PE, Secretary
Plan Commission

**NOTICE OF PUBLIC HEARING
CONDITIONAL USE PERMIT**

Notice is hereby given that the Plan Commission of the City of Chippewa Falls will conduct a public hearing in the Council Chambers, Municipal Building, 30 West Central Street, Chippewa Falls, Wisconsin, commencing at **6:30 P.M. on Monday, March 7, 2022** regarding:

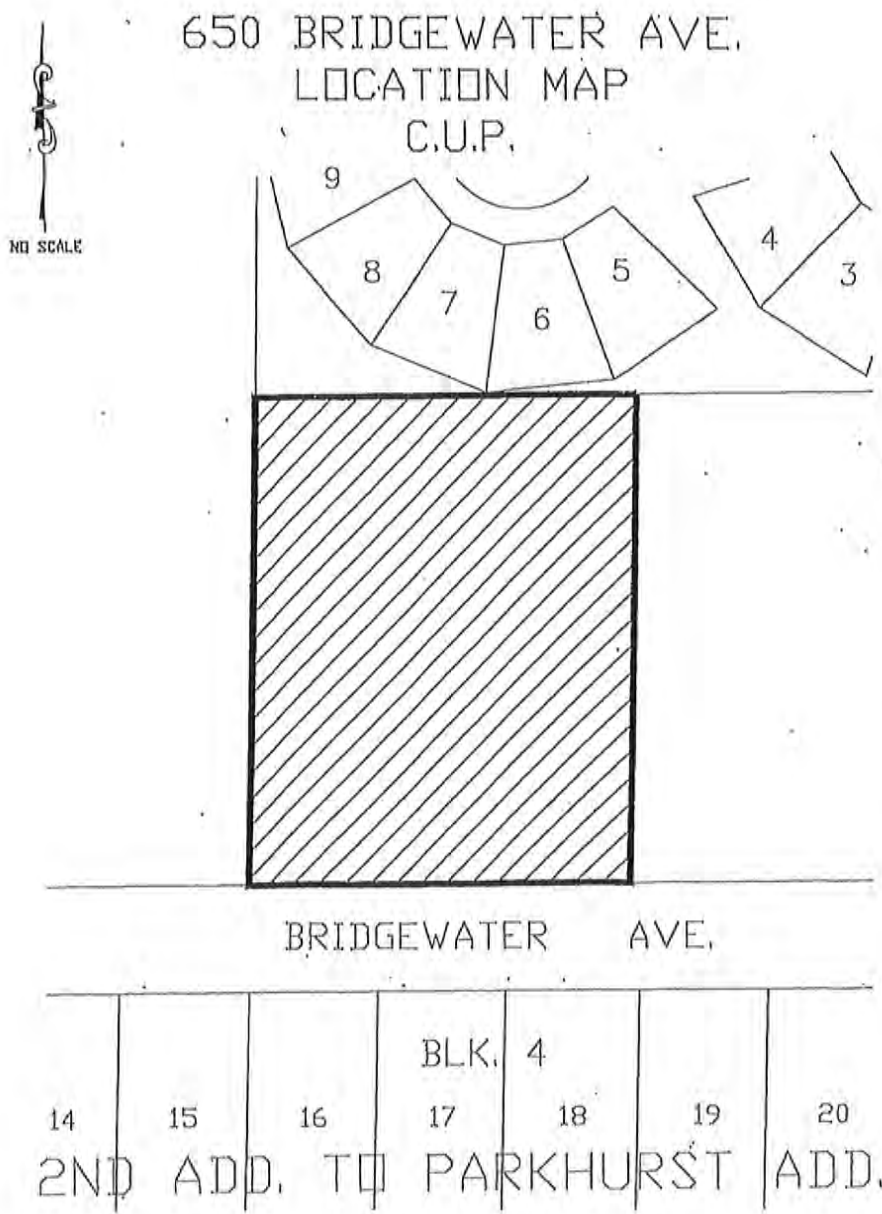
A Conditional Use Permit Resolution to allow the Girls and Boys Club of the Greater Chippewa Valley – Chippewa Falls Center to operate a boys and girls club in the existing building on Parcel #22909-3644-07000000, in the Southeast ¼ of the Southeast ¼, Section 36, T29N, R9W, located at 650 Bridgewater Avenue in the City of Chippewa Falls.

This parcel is currently zoned R-1A Single Family Residential District.

Following the hearing, the Plan Commission will consider adoption of a resolution granting the permit.

A copy of the proposed resolution with the conditions of the proposed permit may be inspected at the office of the City Engineer in the Municipal Building at 30 West Central Street during regular office hours. (8:30 A.M. to 3:30 P.M.)

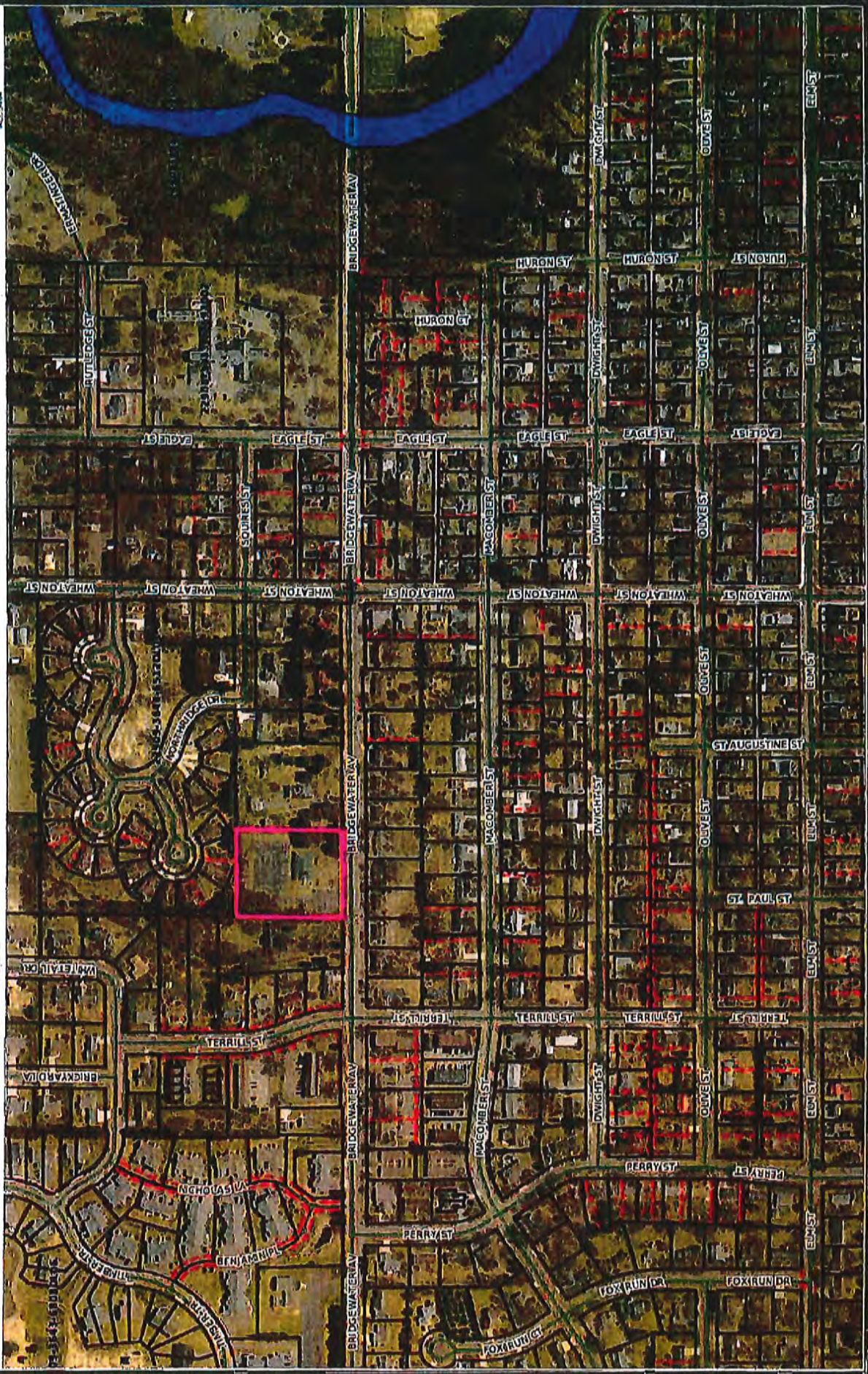
Richard J. Rubenzer, P.E., Secretary
Plan Commission



Map

Printed 01/10/2022

Scale = 1:391'



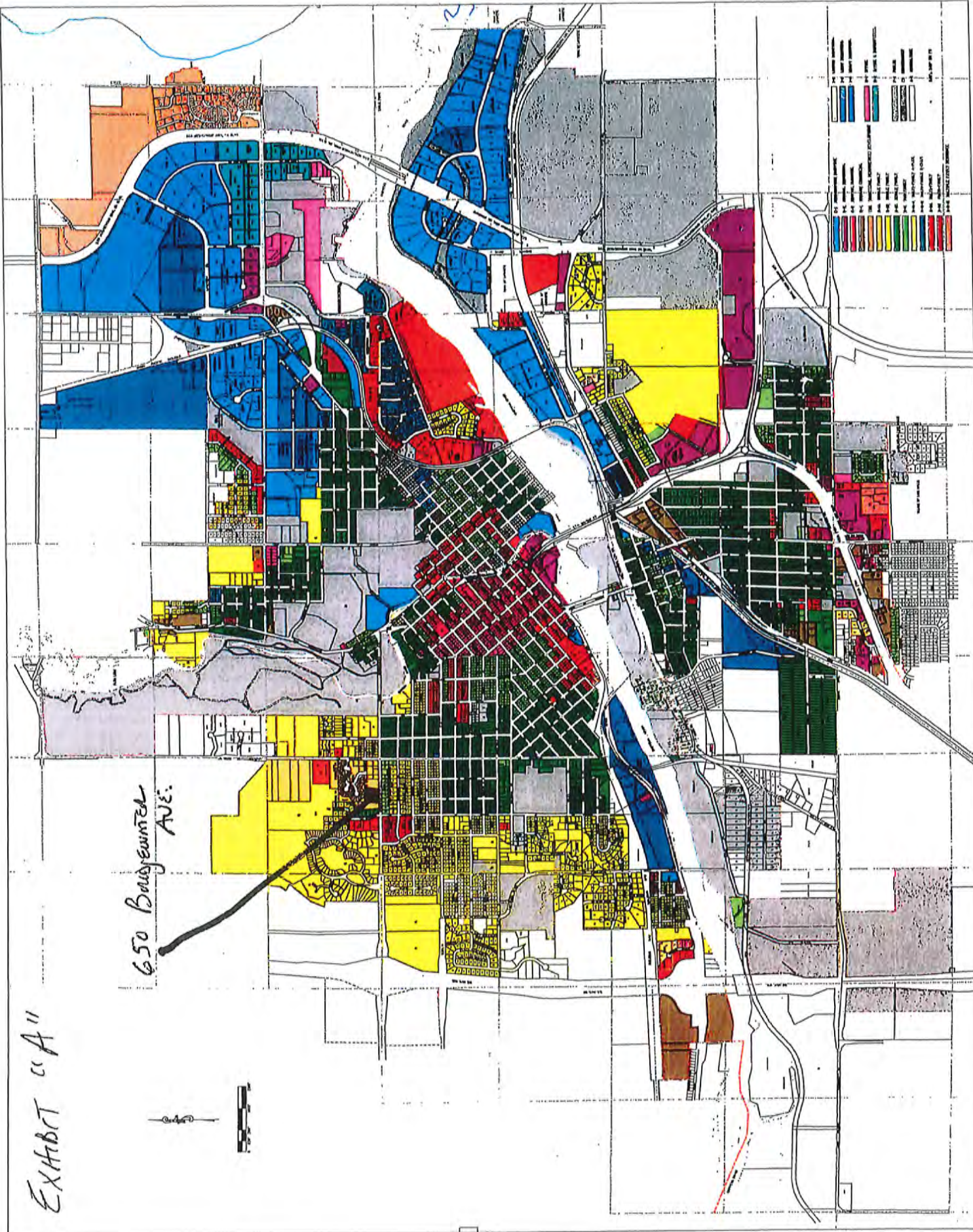
Disclaimer: This map is a compilation of records as they appear in the Chippewa County Offices affecting the area shown and is to be used only for reference purposes.

EXHIBIT "A"

650 Broadway Ave.



[Blue Swatch]	Water
[Light Blue Swatch]	Water
[Dark Blue Swatch]	Water
[Green Swatch]	Green
[Yellow Swatch]	Yellow
[Red Swatch]	Red
[Purple Swatch]	Purple
[Orange Swatch]	Orange
[Brown Swatch]	Brown
[Grey Swatch]	Grey
[White Swatch]	White
[Black Swatch]	Black
[Light Green Swatch]	Light Green
[Light Yellow Swatch]	Light Yellow
[Light Red Swatch]	Light Red
[Light Purple Swatch]	Light Purple
[Light Orange Swatch]	Light Orange
[Light Brown Swatch]	Light Brown
[Light Grey Swatch]	Light Grey
[Light White Swatch]	Light White
[Light Black Swatch]	Light Black
[Dark Green Swatch]	Dark Green
[Dark Yellow Swatch]	Dark Yellow
[Dark Red Swatch]	Dark Red
[Dark Purple Swatch]	Dark Purple
[Dark Orange Swatch]	Dark Orange
[Dark Brown Swatch]	Dark Brown
[Dark Grey Swatch]	Dark Grey
[Dark White Swatch]	Dark White
[Dark Black Swatch]	Dark Black



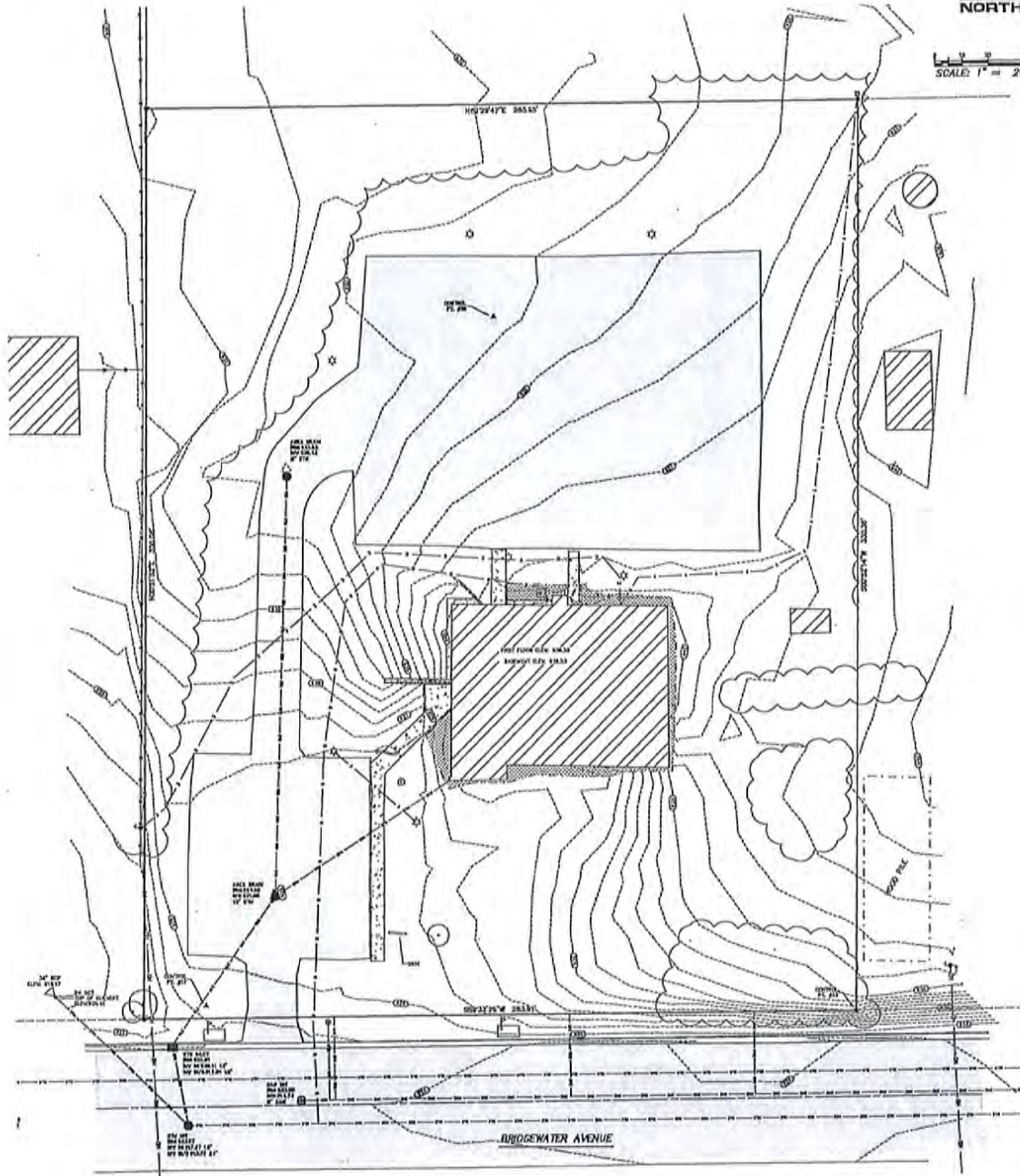


REAL LAND SURVEYING
 1360 INTERNATIONAL DRIVE
 SUITE 2
 EAU CLAIR, WI 54701
 (715) 514-4114

THE DESIGN
 OFFICE OF
 BELLAMONVILLE



SCALE: 1" = 20'



LEGEND

- POINT 1" DIAMETER DIAMETER HIGH PIPE
- EXISTING BARRIAGE
- EXISTING CONCRETE SURFACE
- EXISTING BRICKWORK SURFACE
- EXISTING LAWSYRING
- EXISTING STORMWATER SERVICES
- EXISTING WATER SERVICES
- EXISTING SANITARY SERVICES
- EXISTING OVERHEAD LINES
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND GAS
- EXISTING UNDERGROUND TELEPHONE
- < EXISTING CITY WIRE
- EXISTING TELEPHONE PEDESTAL
- EXISTING POWER POLE
- EXISTING AIR CONDITIONING UNIT
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING CURB INLET
- EXISTING CURB STOP
- EXISTING SANITARY CLEANOUT
- EXISTING TRAFFIC SIGN
- EXISTING GAS METER
- EXISTING FENCE
- EXISTING LIGHT POLE
- EXISTING TREE LINE

CONTROL - 21488			
POINT #	TYPE	NORTHING	EASTING
21	1" PIPE	111511.8440'	111913.8400'
22	104 SPK	111444.1410'	111913.8400'
23	104 SPK	111711.9500'	111913.8400'

BOUNDARY: TOP OF CURB, ELEVATION

TOPOGRAPHIC SURVEY
 LOCATED IN SECTION 36,
 TOWNSHIP 29 NORTH, RANGE 9 WEST,
 CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN

PROJECT LOCATION
 (SEE TO ROAD)

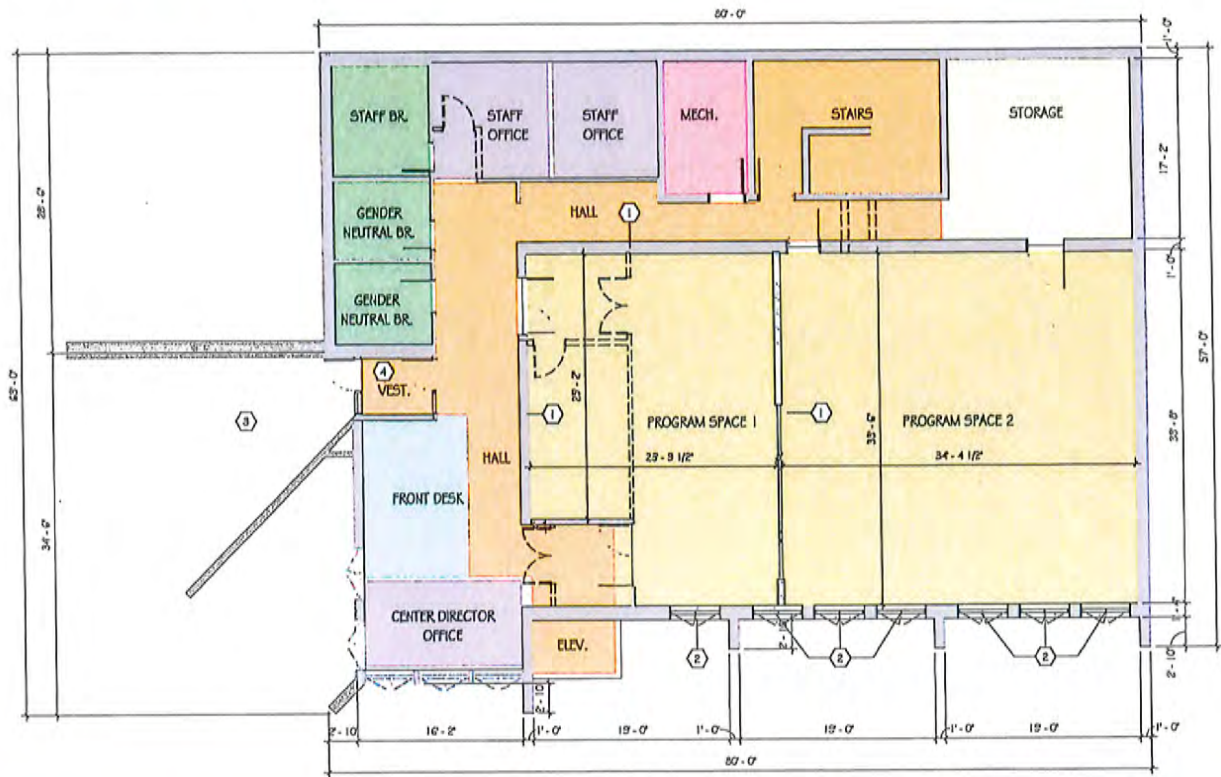


FIELD WORK WAS COMPLETED ON 12/21/21
 PROJECT NUMBER: # 2021010403



BOYS & GIRLS CLUBS
OF THE GREATER CHIPPEWA VALLEY

MAIN LEVEL PROGRAM SPACES

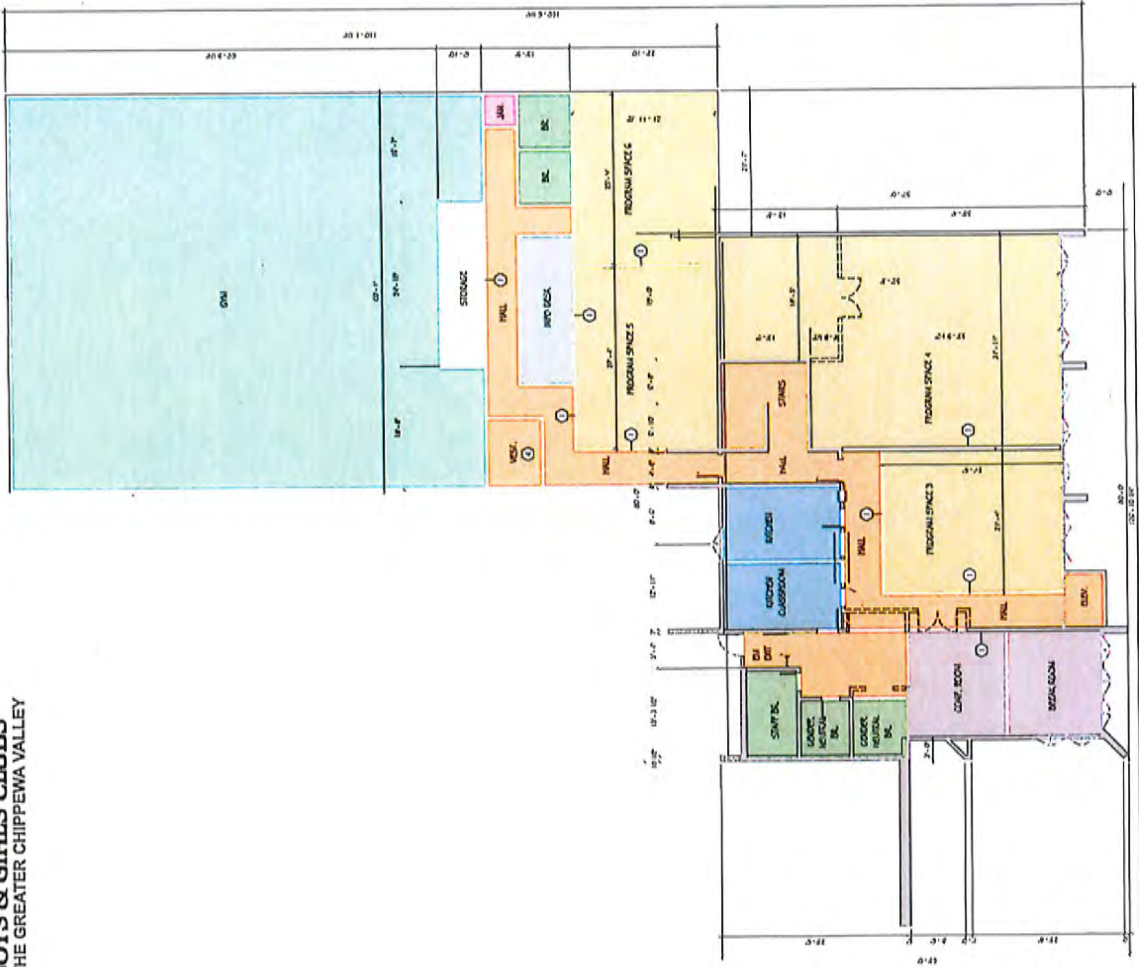


SIMILAR SPACES



BOYS & GIRLS CLUBS
OF THE GREATER CHIPPEWA VALLEY

UPPER LEVEL TEEN CENTER



SIMILAR SPACES



BOYS & GIRLS CLUBS
OF THE GREATER CHIPPEWA VALLEY

UPPER LEVEL GYMNASIUM



SIMILAR SPACES

CITY OF CHIPPEWA FALLS TWIN HOME CONSTRUCTION REQUIREMENTS AND STANDARDS

The Twin Home is intended to provide for development of zero lot line twin home development. Ownership of each unit will be on separate deeds. Compliance with State of Wisconsin one {1} and two {2} family Uniform Dwelling Code for attached units is required.

- A. The plans specification and construction shall require the installation and construction of separate sewer, water and other utility services to each twin home dwelling.
- B. Both lots containing attached twin home dwellings shall be held under the same ownership until the completion of construction of the twin home dwellings.
- C. A maintenance agreement (party wall agreement), approved by the City Zoning Administrator, shall be entered into by the owners of the attached twin home dwelling in order to ensure that equal and reasonable maintenance and repairs are performed on the attached twin home dwellings. Alternatively, provisions for maintenance of common walls may be incorporated into applicable covenants to be reviewed and approved by the City. Such agreements or covenants shall be recorded in the Chippewa County Register of Deeds.
- D. Easements necessary for water, sewer and utility services and the maintenance agreement shall be recorded with the Chippewa County Register of Deeds prior to occupancy.
- E. The exterior (such as siding), and roof materials on each attached twin home dwelling shall be the same color, quality and consistency.
- F. A joint or attached driveway serving the attached twin home dwelling is permitted provided covenants addressing the maintenance of such driveways are in a form approved by the Department.
- G. A minimum fire wall separation complying with SPS 321.08, Wis. Adm. Code, providing a vertical separation of all areas from the lowest level to flush against the underside of the roof, is required between each dwelling unit.
- H. A statement shall be placed on the face of all Twin Home plats creating twin home dwelling lots stating; "When two attached, single family dwelling units are created, matters of mutual concern to the adjacent property owners, due to construction, catastrophe and/or maintenance, shall be guarded against by private agreements, covenants and deed restrictions and the City of Chippewa Falls shall not be responsible for the same."

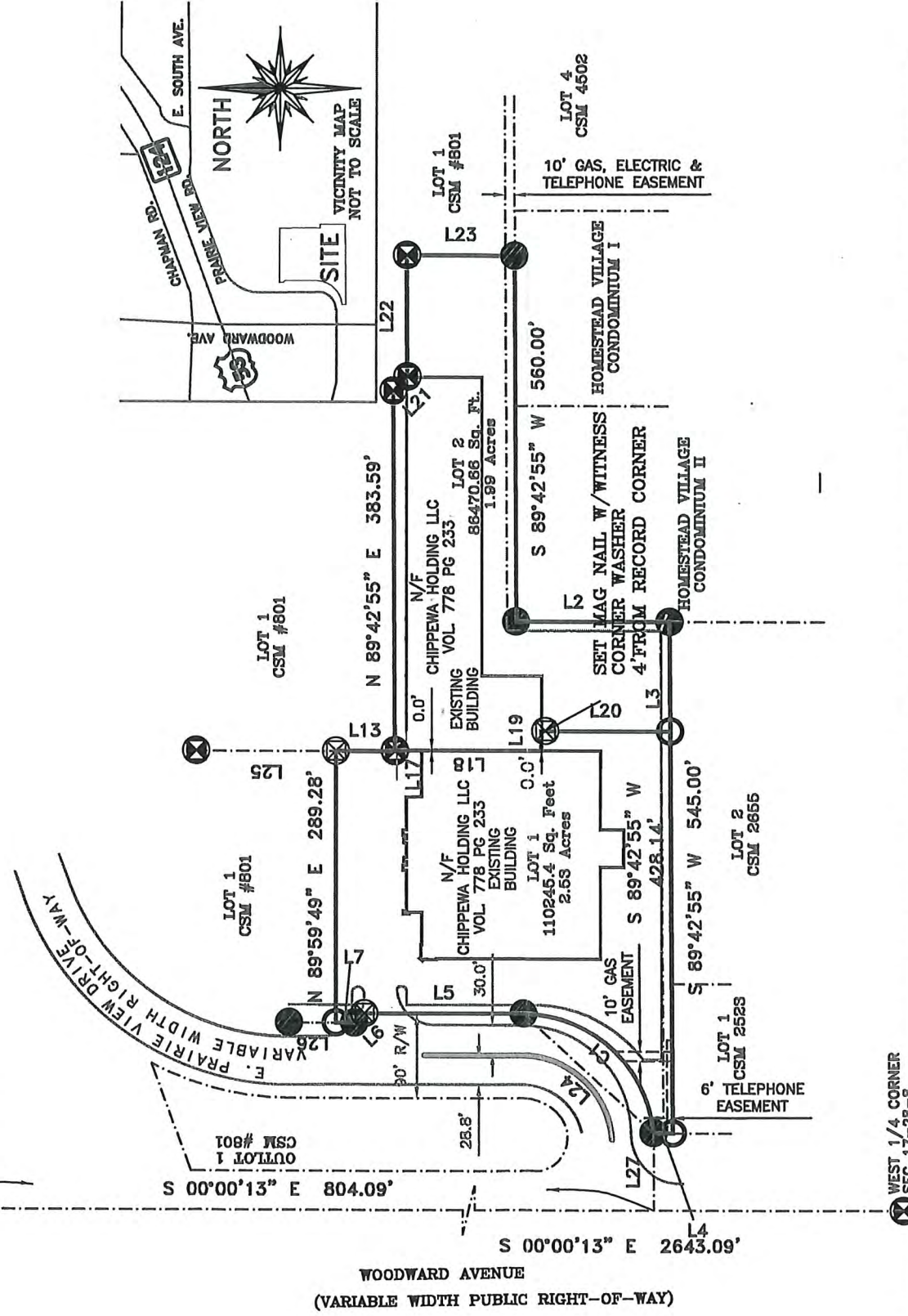
CERTIFIED SURVEY MAP NO.

BEING A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 801 RECORDED IN VOLUME 2 OF CERTIFIED SURVEY MAPS AT PAGE 380, AND BEING A PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 SECTION 17, TOWN 28 NORTH, RANGE 8 WEST, CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN

LINE	BEARING	DISTANCE
L2	S 00°00'00" E	165.00'
L3	S 89°42'55" W	116.86'
L4	N 00°00'00" W	20.37'
L5	N 00°00'00" W	170.00'
L6	N 42°54'45" W	14.69'
L7	N 00°00'00" W	19.57'
L13	S 00°00'00" E	63.01'
L17	N 89°42'55" E	0.73'

LINE	BEARING	DISTANCE
L18	S 00°00'35" W	157.08'
L19	N 90°00'00" E	21.16'
L20	S 00°00'00" E	137.89'
L21	S 45°00'00" E	21.21'
L22	N 89°42'55" E	129.40'
L23	S 00°00'00" E	115.00'
L24	N 42°20'19" E	188.56'
L25	N 00°00'00" W	150.37'
L26	N 00°00'00" W	50.43'
L27	N 89°59'47" E	82.86'

NW CORNER
NW 1/4
SEC 17-28-8



WEST 1/4 CORNER
SEC 17-28-8

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH	TANGENT BEARING-IN	TANGENT BEARING-OUT
C1	206.88'	139.98'	84°40'58"	S 42°20'19" W	188.56'	S 00°00'10" E	S 84°40'48" W

SECTION CORNER FOUND AS NOTED AND TIES WERE VERIFIED FOR SECTION CORNERS SHOWN
 FOUND 1-1/4" OUTSIDE DIAMETER IRON PIPE (UNLESS NOTED OTHERWISE)
 FOUND MAG NAIL

SET MAG NAIL
 3/4" REBAR SET 18" LONG
 weighing 1.50 pounds per linear foot

NORTH
 SOUTH
 EAST
 WEST
 NW NORTHWEST
 R/W RIGHT OF WAY
 SQ. SQUARE
 FT. FEET
 CSM CERTIFIED SURVEY MAP
 VOL. VOLUME
 PG. PAGE
 SEC. SECTION
 RD. ROAD
 AVE. AVENUE
 LLC LIMITED LIABILITY COMPANY

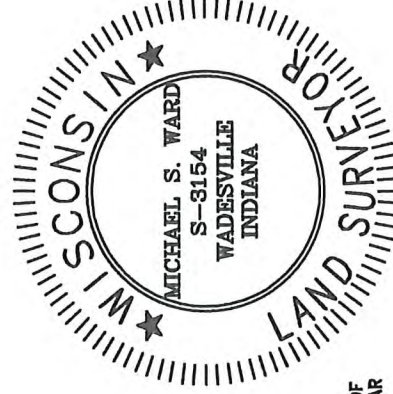
FIELDWORK COMPLETED MARCH 3, 2022



SCALE 1" = 200'



BEARINGS ARE REFERENCED TO THE WEST LINE OF THE NORTHWEST 1/4 OF SECTION 17, TOWN 28 NORTH, RANGE 8 EAST, WHICH IS ASSUMED TO BEAR S 00°00'13" E



PROPERTY ADDRESS:
 303 & 409 E. PRAIRIE VIEW RD.
 CHIPPEWA FALLS, WI 54729

PREPARED FOR:
 CHIPPEWA HOLDINGS LLC
 2439 KUSER ROAD
 HAMILTON, NJ 08690
 SS55132CSM.DWG_MSW
 SHEET 1 OF 2

DRAFTED BY MICHAEL S. WARD

U.S. SURVEYOR
 4929 RIVERMIND POINTE DRIVE
 EVANSVILLE, INDIANA 47715
 1-800-TO-SURV
 U.S.SURVEYOR.COM

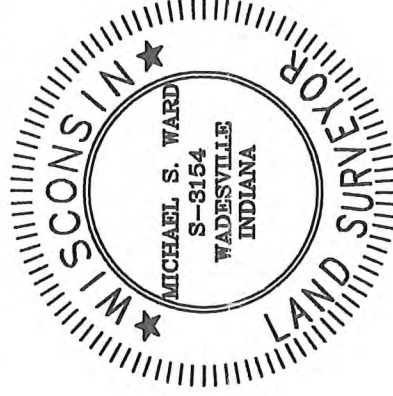
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BEING A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 801 RECORDED IN VOLUME 2 OF CERTIFIED SURVEY MAPS AT PAGE 380, AND BEING A PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 SECTION 17, TOWN 28 NORTH, RANGE 8 WEST, CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, Michael S. Ward, Registered Land Surveyor, do hereby certify that I have surveyed and mapped at the direction of Chippewa Holdings LLC, a Wisconsin limited liability company, being a redivision of Lot 1 of Certified Survey Map No. 801 recorded in Volume 2 of Certified Survey Maps at Page 380, and being a part of the Northwest 1/4 of the Northwest 1/4, Section 17, Town 28 North, Range 8 West, City of Chippewa Falls, Chippewa County, Wisconsin, described as follows: Commencing at the Northwest corner of said Section 17; thence along the West line of said Section 17, South 00°00'13" East a distance of 804.09 feet; thence leaving said West line North 89°59'47" East a distance of 82.86 feet to the point of curvature of a non-tangent curve to the left on the right-of-way of Prairie View Road, said point being the POINT OF BEGINNING; thence with said right-of-way the following Four (4) calls; thence along said curve having a radius of 140.00 feet being concave to the northwest with a long chord bearing North 42°20'10" East 188.57 feet; thence North 00°00'00" West a distance of 170.00 feet; thence North 42°54'45" West a distance of 14.69 feet; thence North 00°00'00" West a distance of 19.57 feet; thence North 89°59'49" East a distance of 289.28 feet to a point in the line of Amerco Real Estate Company (Doc.#874877); thence with Amerco South 00°00'00" East a distance of 63.01 feet; thence North 89°42'55" East a distance of 0.73 feet; thence North 89°42'55" East 383.59 feet; thence South 45°00'00" East a distance of 21.21 feet; thence North 89°42'55" East a distance of 129.40 feet; thence South 00°00'00" East a distance of 115.00 feet to a point in the line of Homestead Village Condominium I; thence with Homestead Village Condominium I & II South 89°42'55" West 390.00 feet; thence South 00°00'00" East a distance of 165.00 feet; thence along the lines of Hoss Bros LLC (Doc.#835372) and FCPT Holdings LLC (Doc.#861988) South 89°42'55" West a distance of 545.00 feet to a point on the Easterly right-of-way of Prairie View Road; thence with said right-of-way North 00°00'00" West a distance of 20.37 feet to the POINT OF BEGINNING, containing 4.52 acres, more or less. Subject to all existing easements and restrictions of record.

That I have fully complied with Chapter 236.34 of the Wisconsin Statutes and A-E 7 of the Wisconsin Administrative Code in surveying, dividing and mapping the same, and with the City of Chippewa Falls Subdivision Ordinance.

Given under my hand this _____ day of _____, 2022.



PROFORMA

MICHAEL S. WARD
WISCONSIN REGISTRATION NO. S-3154

OWNER'S CERTIFICATE

As owner I, the undersigned, hereby certify that I caused the land described herein to be surveyed, divided, mapped and dedicated as represented on this Certified Survey Map. I also certify that this Certified Survey Map is required to be submitted to the following for approval: City of Chippewa Falls Planning Commission

Date: _____
Chippewa Holdings LLC
A Wisconsin Limited Liability Company

STATE OF WISCONSIN)
)SS
COUNTY)

Personally come before me on the _____ day of _____, 2022
The above owners to me known to be the persons who executed the foregoing instrument and acknowledge the same

_____ My Commission Expires _____
Public

City of Chippewa Falls Approval
This Certified Survey Map is approved by the Common Council of the City of Chippewa Falls on this _____ day of _____, 2022

Greg Hoffman, Mayor _____ Date _____

Bridget Givens, City Clerk _____ Date _____

PROPERTY ADDRESS:
303 & 409 E. PRAIRIE VIEW RD.
CHIPPEWA FALLS, WI 54729

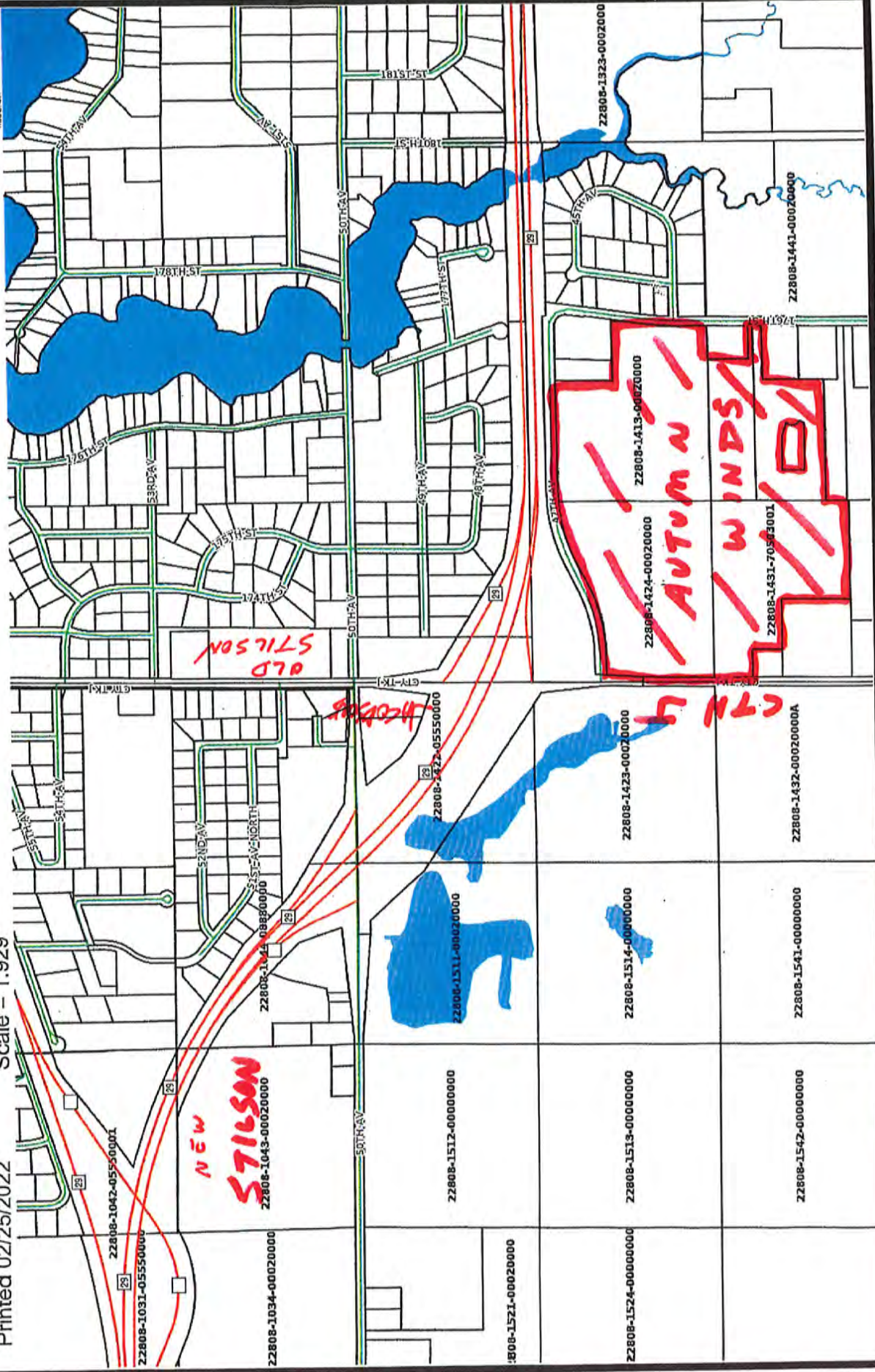
PREPARED FOR:
CHIPPEWA HOLDINGS LLC
2439 KUSER ROAD
HAMILTON, NJ 08690
SS55132CSM.DWG_MSW
SHEET 2 OF 2
DRAFTED BY MICHAEL S. WARD





Map

Printed 02/25/2022 Scale = 1:929'



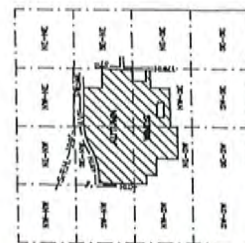
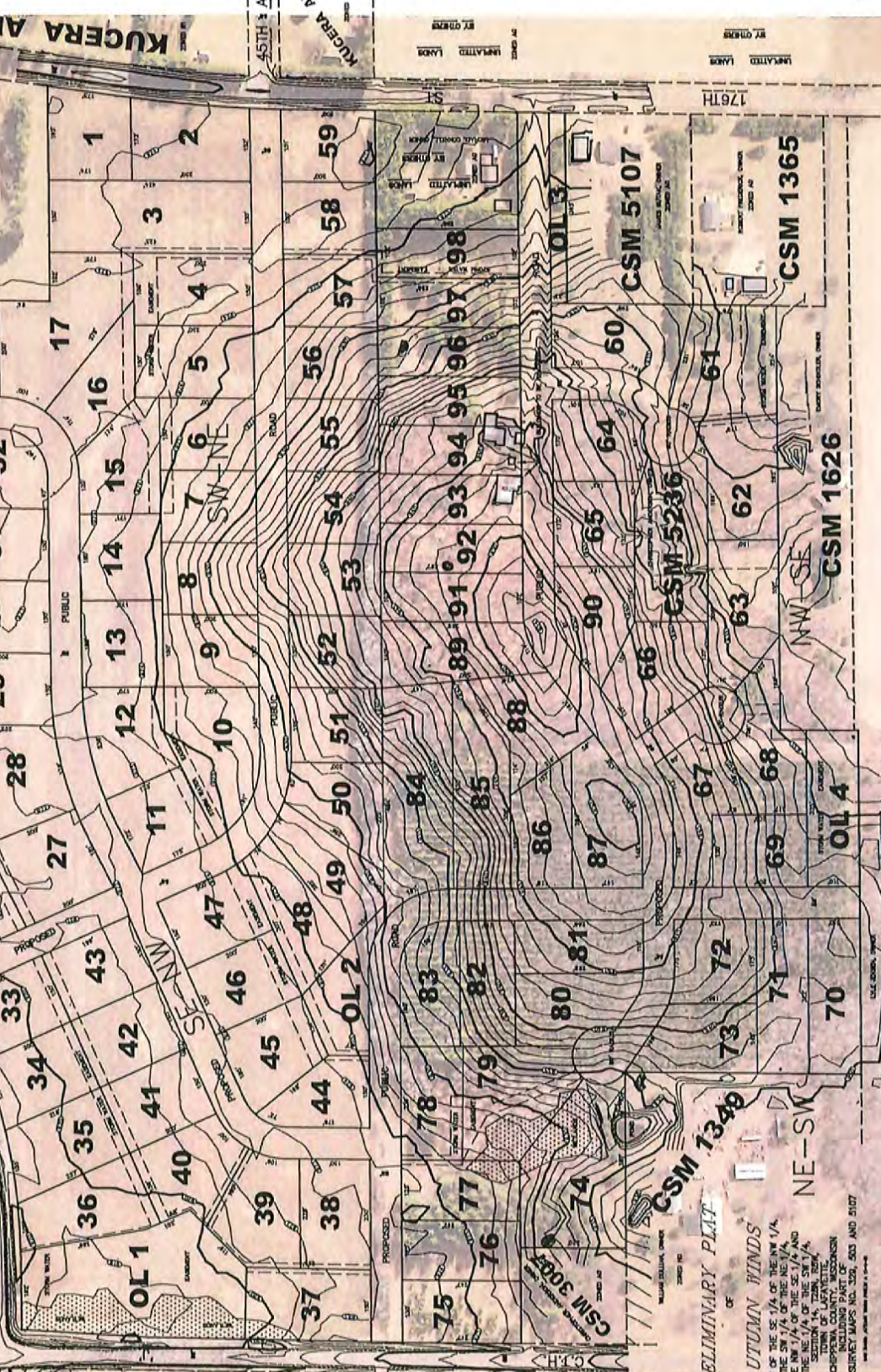
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S.T.H. '29'



James R. L.
Surveyor
State of Missouri

SAID AND SET BY RECORD 222



OWNER:
SOUTH WIND LLC AND
TRUST
16000 W. 176TH ST
CHRYSLER AVENUE
CHRYSLER TOWNSHIP, MO 64729

APPROVING AUTHORITY:
TOWN OF LAVETTTE
CHRYSLER COUNTY

OBJECTING AUTHORITY:
DEPT. OF ADMINISTRATION, PLAT REVIEW

NOTES:
DIMENSIONS AND AREAS ARE APPROXIMATE
AND HAVE SUBJECT TO SLIGHT
ADJUSTMENTS

CONTAINS PROVIDED BY EVERYDAY
SURVEYING AND ENGINEERING, LLC
SURVEYING AND ENGINEERING, LLC
10000 W. 176TH ST
CHRYSLER TOWNSHIP, MO 64729

ALL LOTS MEET OR EXCEED 20,000 SQUARE
FEET AND 10,000 SQUARE FEET USABLE
AREA

ALL LOT DIMENSIONS MUST OF EXCEED TOWN
SUBDIVISION REQUIREMENTS

CONTAINS SHOWN AT 7' AND IF INTERNALS
OF UTILITY DIMENSIONS TO SERVE ALL LOTS
FOR TOWN DIMENSIONS

ALL LOTS ZONED R-1

TOTAL AREA BEYOND ACRES EXCL. NORTH OF
R1S

BE PROPOSED LOTS, 4 PROPOSED OUT LOTS
TOTAL STREET LENGTH: 2,800 FT

EVERYDAY SURVEYING
AND ENGINEERING, LLC.

16000 W. 176TH ST
CHRYSLER AVENUE - 2ND FLOOR, 3RD FLOOR
CHRYSLER TOWNSHIP - CHRYSLER TOWNSHIP

EVERYDAY SURVEYING
AND ENGINEERING, LLC.

16000 W. 176TH ST
CHRYSLER AVENUE - 2ND FLOOR, 3RD FLOOR
CHRYSLER TOWNSHIP - CHRYSLER TOWNSHIP

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AND ENGINEERING, LLC.

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16000 W. 176TH ST
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CHRYSLER TOWNSHIP - CHRYSLER TOWNSHIP

EVERYDAY SURVEYING
AND ENGINEERING, LLC.

PRELIMINARY PLAT
OF
AUTUMN WINDS
PART OF THE SE 1/4 OF THE NW 1/4,
THE SW 1/4 OF THE NE 1/4,
THE NW 1/4 OF THE SE 1/4, AND
THE SE 1/4 OF THE SW 1/4,
SECTION 17, TOWNSHIP 29S,
RANGE 11E,
CHRYSLER COUNTY, MISSOURI

CERTIFIED SURVEY MAPS NO. 332, 503 AND 5107

EVERYDAY SURVEYING
AND ENGINEERING, LLC.

16000 W. 176TH ST
CHRYSLER AVENUE - 2ND FLOOR, 3RD FLOOR
CHRYSLER TOWNSHIP - CHRYSLER TOWNSHIP

EVERYDAY SURVEYING
AND ENGINEERING, LLC.

16000 W. 176TH ST
CHRYSLER AVENUE - 2ND FLOOR, 3RD FLOOR
CHRYSLER TOWNSHIP - CHRYSLER TOWNSHIP

EVERYDAY SURVEYING
AND ENGINEERING, LLC.

16000 W. 176TH ST
CHRYSLER AVENUE - 2ND FLOOR, 3RD FLOOR
CHRYSLER TOWNSHIP - CHRYSLER TOWNSHIP

EVERYDAY SURVEYING
AND ENGINEERING, LLC.



Map

1939

Printed 02/02/2022 Scale = 1:187



Disclaimer: This map is a compilation of records as they appear in the Chippewa County Offices affecting the area shown and is to be used only for reference purposes.



PIN: 22808-0532-60011103

Computer Number: 211-0017.5000

Owner Name: CHIPPEWA VALLEY CULTURAL

Owner Address: 3 S HIGH ST

Owner Address: CHIPPEWA FALLS WI, 54729

Physical Address:

GIS Acres: 0.4

Deed Acres: 0.0

School Code: 1092

Assessed Value: 0

Fair Market Value: 0

Description: ORIGINAL PLAT MAP 5-6 PRT LOTS 3 4 5 & 6 & PRT

OF ALLEY IN BLK 11 COM @ N COR BLK 11, S 52 D W

69.17' TO BEG; S 37 D E 92.52', S 52 D W 77.3', S 37 D E

13.7' S 52 D W TO HIGH ST, NW ETC

570514

V 560 P668



Scale = 1":71'

Printed 09/27/2021

Disclaimer: This map is a compilation of records as they appear in the Chippewa County Offices affecting the area shown and is to be used only for reference purposes.

441773

STATE OF WISCONSIN

COUNTY OF CHESSONA

MAP OF SURVEY

PART OF LOTS 3, 4, 5, 6, 7, 8, 9, 10, 11 AND ALL OF LOT 12, BLOCK 12, RECORD 10, VOL. 1, P. 5 OF PLATS AS DOCK NO. 102000, LOCATED IN PART OF THE NW 1/4 OF THE SW 1/4, SECTION 5, ALL IN TOWNSHIP 36N, RANGE 10W, CITY OF CHESSONA, FALLS, CHESSONA COUNTY, WISCONSIN

FOR CHESSONA VALLEY TRADING CORPORATION, INC.

BY: [Signatures]

DATE: [Date]

111111

Map of Block 12, showing the location of the City of Chessona Falls, Wisconsin, and the location of the City of Chessona Falls, Wisconsin, and the location of the City of Chessona Falls, Wisconsin.

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STATE OF WISCONSIN

CHESSONA COUNTY

MAP OF SURVEY

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FOR CHESSONA VALLEY TRADING CORPORATION, INC.

BY: [Signatures]

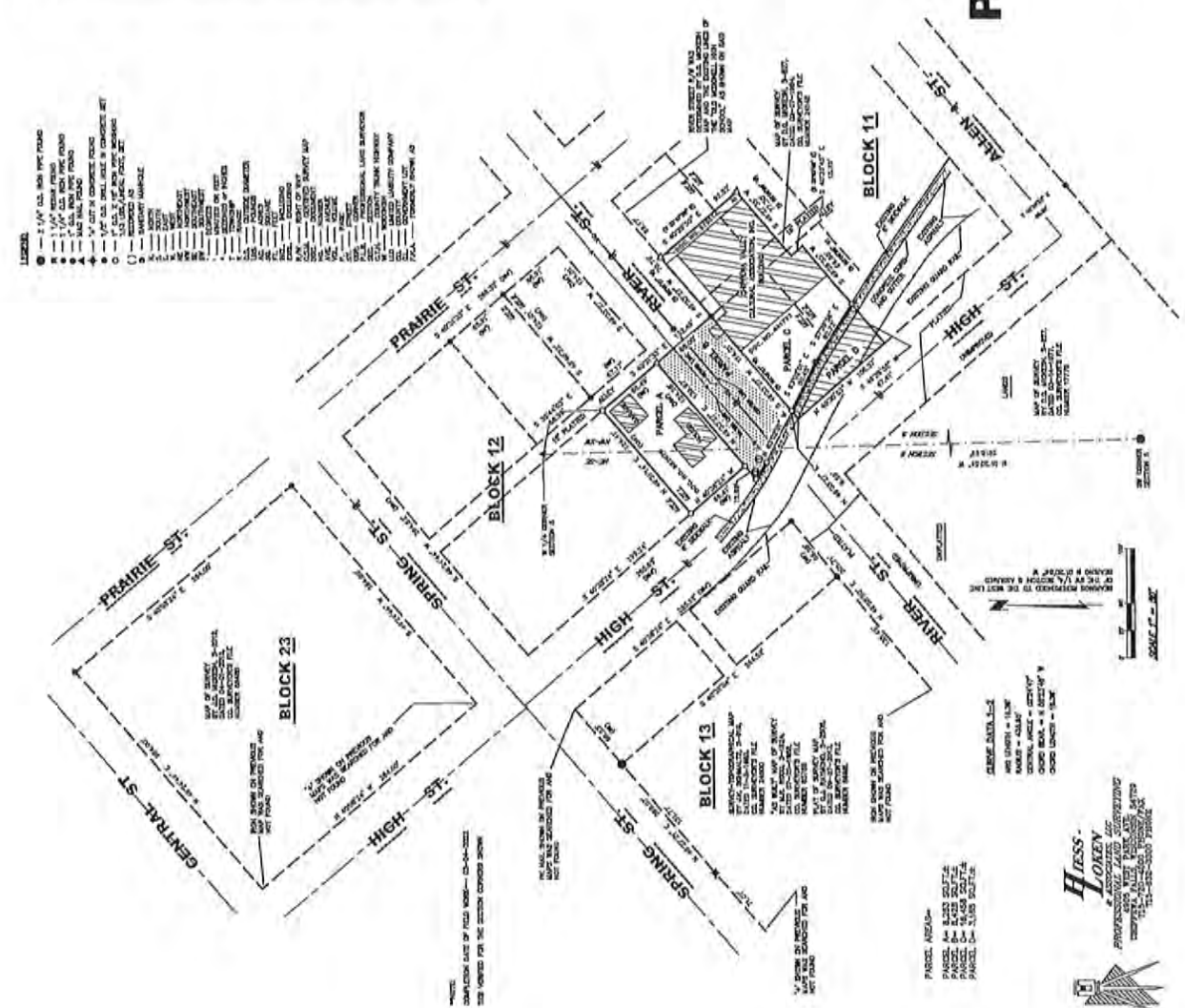
DATE: [Date]

PRELIMINARY

1. THIS IS A PRELIMINARY MAP OF SURVEY AND IS NOT TO BE USED FOR ANY PURPOSE OTHER THAN TO SHOW THE LOCATION OF THE CITY OF CHESSONA FALLS, WISCONSIN, AND THE LOCATION OF THE CITY OF CHESSONA FALLS, WISCONSIN, AND THE LOCATION OF THE CITY OF CHESSONA FALLS, WISCONSIN.

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MAP OF SURVEY

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FOR CHESSONA VALLEY TRADING CORPORATION, INC.

BY: [Signatures]

DATE: [Date]

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