

**MINUTES OF THE PLAN COMMISSION MEETING
CITY OF CHIPPEWA FALLS
MONDAY, APRIL 7, 2014 – 6:30 PM**

The Plan Commission met in City Hall on Monday, April 7, 2014 at 6:30 P.M. Present were Commissioners Dave Cihasky, Peter Pohl, Mike Tzanakis, Dan Varga, Beth Arneberg, Alderperson Chuck Hull, Secretary Rick Rubenzer, Vice-Chairperson Tom Hubbard and Mayor Greg Hoffman. Absent was Commissioner Jerry Smith. Also attending were: Assistant City Engineer Matt Decur, City Planner Jayson Smith, John Scheppke from Scheppke Real Estate. Others in attendance are listed on the attached sheet.

1. **Motion** by Hubbard, seconded by Tzanakis to approve the minutes of the March 10, 2014 Plan Commission meeting. **All present voting aye. MOTION CARRIED.**

2. Secretary Rubenzer provided a brief history of the Willow Creek Planned Development Conditional Use Permit and amendments. He noted that in P.D. C.U.P. R-2012-04, the Plan Commission had compromised the original proposal by allowing six twin homes instead of the thirty-plus requested and maintaining single family housing where Willow Creek abuts the backyards of homes on Brickyard Lane. He asked the Plan Commission to include the overall project density of 2.8 units/acre in the fifth “whereas” of P.D. C.U.P. Resolution #2-14-01. He stated that Attorney Ferg had opined that the City could require owner occupied twin homes through property deed inclusion and as a requirement of the Phase III Developer Agreement. He continued he believed twin homes were two single family homes slid together with a common wall, lot line and without the two normal eight foot side yard setbacks. He also noted that the underlying zoning district prior to the Willow Creek Development was R-1B Single Family Residential with a maximum zoning density of five units per acre as detailed in 17.26(10)(a). Mayor Hoffman opened a public hearing to consider a request from Westwood Land Company to create nine larger lots in place of thirteen small lots around Brooke Court in Phase I of Willow Creek Subdivision. In addition, to replace twenty-two single family lots in Phase II with thirty twin home lots of the Willow Creek Subdivision.
Chris Kranich of 1718 Brickyard Lane stated that three times prior, the Plan Commission had kept single family homes adjacent to the backyards of Brickyard Lane homes when twin homes were requested. He stated that a Planned Development, PD perimeter was required using 17.26(9)(c)(2)(a). Rubenzer noted that using 17.26(9)(c)(2)(b), the Plan Commission had flexibility to deviate from P.D. perimeter requirements if the proposed uses were compatible with existing single family housing. Mr. Kranich stated market trends were better now than in 2008 with interest rates two points lower and more housing starts. He continued that a Final Development Plan could only be revised due to drastic changes in existing conditions. He stated that twin homes would affect his existing home value negatively. He responded to a question about facts that three different realtors had stated the twin homes would result in a lower home value to varying degrees. He compared the project tax base with thirty twin homes versus 22 single family homes and said the City would get \$340,000 less tax base with the twin homes at build out. He said twin homes were multi-family dwellings as per housing code.
Ron Simit of 1745 Brickyard Lane stated he was the developer of Brickyard Lane. He was concerned with increased traffic from Bridgewater Avenue. He stated this was spot zoning. He concluded by saying he and his wife were there first.
Curt Severson of 1734 Brickyard Lane began by stating that he thought the City did a terrible job of snow removal on Terrill Street. He stated that he thought the Developer had to establish economic hardship in order for a variance from an approved Final Plan.

Please note, these are draft minutes and may be amended until approved by the Common Council.

Diane Altman of 1726 Brickyard Lane stated there was enough multi-family housing already. She had an issue with anticipated noise and requested having strict construction hours for home building in Willow Creek.

Jim Rooney of 10795 34th Avenue, Chippewa Falls gave a history of the Willow Creek Subdivision. He stated that the property was acquired in 2000 and that the Park West and Hidden Ridge Subdivisions were constructed in 2002-2005. The Willow Creek master planning occurred around 2007 and included 200 multi-family units out of the 500-plus unit total development. No one had opposed the multi-family in that process. He detailed that in spite of negative predictions about the 72 multi-family units approved and rent rates in 2012, twenty-eight multi-family units were completed and rented to date with the remainder of the units expected to be completed by the end of 2014. He stated that the goal for twin homes was to sell them. If he had wanted duplexes he would have requested them. He contrasted the difference in twin homes and duplexes and stated his seventy year old aunts owned an existing twin home in Willow Creek. He continued that twin homes were desirable for elderly housing and generally had low household populations. He stated the Willow Creek Home Owners Association had met recently and didn't mention that there were any problems with the multi-family residents now living in Willow Creek or the proposed twin homes.

Mayor Hoffman closed the public hearing.

The Plan Commission discussed the proposal. Alderperson Hull asked about twin home size. Mr. Rooney responded that units range from 1150sf to 1400sf per unit and the existing twin homes have finished basements. Mr. Rooney responded to a question that financial institutions regard twin homes as single family homes with a simple fee property deed.

Motion by Hubbard, seconded by Varga to approve Planned Development Conditional Use Permit Resolution #2014-01 recreating thirteen single family lots around Brooke Court into nine larger single family lots and recreating twenty-two single family lots along the northerly extension of Timber Trail into thirty twin home lots.

A roll call vote was taken. Voting aye were Hubbard, Varga, Cihasky, Pohl, Tzanakis, Arneberg, Hull, Rubenzer and Hoffman. There won't any nay votes or abstentions. The permit was approved on a 9-0 vote.

3. The Plan Commission considered the request of John Schepcke to rezone Lot #1 of the Gateway Center Subdivision, (parcel #1703.0230), located at #10-12 Sunshine Circle from C-4 Highway Commercial to R-3A Multi-Family Residential District. Mr. Schepcke stated that WIDOT is vacating the existing commercial building and that it is a difficult location for leasing the building. His intention is to move the existing building to the south and use it as a garage and then construct twelve larger one bedroom apartments onto the existing building at #24 Sunshine Circle. He responded to a question that a typical rent amount was \$525.

Motion by Tzanakis, seconded by Cihasky to recommend the Common Council conduct a public hearing to consider rezoning Parcel #1703.0230, Lot #1, Gateway Center Subdivision located at #10-12 Sunshine Circle from C-4 Highway Commercial to R-3A Multi-Family Residential District. Said hearing to be scheduled upon receipt of the \$300 advertizing and processing fee and the proper notification of adjacent property owners.

All present voting aye. MOTION CARRIED.

4. **Motion** by Hubbard, seconded by Tzanakis to adjourn. **All present voting aye. MOTION CARRIED.** The Plan Commission adjourned at 7:50 P.M.


Richard J. Rubenzer, P.E., Secretary
Plan Commission

PLAN COMMISSION ATTENDANCE SHEET

DATE: _____

NAME	ADDRESS	COMPANY REPRESENTING	PHONE #	EMAIL
Chris Kranick	1718 Brickyard Ln	Self	82827744	
Adler Kranich	1718 Brickyard Ln	Chris Kranich		
Erica Kranich	1718 Brickyard Ln.	Chris Kranick		
Ron Smet	1745 Brickyard Ln	Ron Smet		
Jim Rooney	18795 34th Ave E	Hartland Westward		
Curt Severson	1734 Brickyard	SEER	557-8211	
Tom Severson	1734 Brickyard		563-7075	
Lee Rooney	18795 34th Ave	Hartland		
Joe Seithe	215425 4th Rd Full Creek	Hartland		
DANB ALTMANN	1726 Brickyard	SELF	(715) 308-4231	
FRANK LOWMY	~ ~	~		


**MINUTES OF THE PLAN COMMISSION MEETING
CITY OF CHIPPEWA FALLS
MONDAY, MARCH 10, 2014 – 6:30 PM**

The Plan Commission met in City Hall on Monday, March 10, 2014 at 6:30 P.M. Present were Commissioners Dave Cihasky, Peter Pohl, Mike Tzanakis, Dan Varga, Beth Arneberg, Alderperson Chuck Hull, Secretary Rick Rubenzer, and Vice-Chairperson Tom Hubbard. Absent were Mayor Greg Hoffman and Commissioner Jerry Smith. Also attending were Assistant City Engineer Matt Decur and Joe Germain of 503 Squires Street, Chippewa Falls.

1. **Motion** by Varga, seconded by Tzanakis to approve the minutes of the February 10, 2014 Plan Commission meeting. **All present voting aye. Motion carried.**

2. Joe Germain appeared to support his petition to rezone Parcel #3301, Lot #1, Block #4, 1st Addition to Parkhurst Addition, located at 506-508 Macomber Street from R-1C Single Family Residential to R-2 Two Family Residential district. He stated that the existing building was a duplex and had been built in 1966. One of the tenant families have lived there for thirty-five years. Mr. Germain indicated he had performed a major remodel in 2013 and that he kept the building in really nice condition as Landlord. The Plan Commission investigated surrounding single and two-family zoning districts and determined that the proposed R-2 Two-Family zoning would not be detrimental to the neighborhood.
Motion by Varga, seconded by Hull to recommend the Common Council conduct a public hearing to consider rezoning Parcel #3301, Lot #1, Block #4, 1st Addition to Parkhurst Addition, located at 506-508 Macomber Street from R-1C Single Family Residential to R-2 Two Family Residential district. Said hearing to be scheduled upon receipt of the \$300 advertizing and processing fee and the proper notification of adjacent property owners. **All present voting aye. Motion carried.**

3. **Motion** by Cihasky, seconded by Tzanakis to adjourn. **All present voting aye. Motion carried.** The Plan Commission adjourned at 6:36 P.M.


Richard J. Rubenzer, P.E., Secretary
Plan Commission

**Planned Development
C.U.P. Resolution # 14-01**

**CITY OF CHIPPEWA FALLS PLAN COMMISSION
RESIDENTIAL PLANNED DEVELOPMENT CONDITIONAL USE PERMIT
RESOLUTION #14-01
TO AMEND C.U.P. RESOLUTIONS #07-03, #12-03 and #12-04 FOR
PHASE III DEVELOPMENT OF WILLOW CREEK SUBDIVISION**

WHEREAS, on May 7, 2007, the Plan Commission conducted a public hearing and approved CUP Resolution #07-03(available for inspection in the City of Chippewa Falls Engineering Department) to Westwood Land Company for a Planned Unit Development; and

WHEREAS, on May 7, 2012, the City of Chippewa Falls Plan Commission approved CUP Resolution #12-03 allowing temporary row crops on phases 5-7 of the development, (approximately 46 acres); and

WHEREAS, on June 11, 2012, the City of Chippewa Falls Plan Commission approved CUP Resolution #12-04 allowing changes in housing type in phase II of the Willow Creek Subdivision plan. The approved changes were replacing 10 single family lots with 12 twin home lots and replacing 28 single family lots with 15 multi-family complexes lots;

WHEREAS, the proposed development is located on parcels of land zoned *R-PUD District; and

WHEREAS, at its' February 10, 2014 meeting, the City of Chippewa Falls Plan Commission heard a request from Developer Jim Rooney to allow a change in housing type in phases I and III of the Willow Creek Subdivision plan. The amendment proposed reducing 13 single family lots located around Brooke Court to 9 larger lots in Phase I and changing 22 single family lots to 30 twin home lots adjacent to the northerly extension of Timber Trail in Phase III. The proposed net change for the Willow Creek Subdivision is a four unit increase resulting in 536 units in 190 acres or a 2.8 unit/acre project density; and

WHEREAS, the Plan Commission was presented with a revised phase III plat, General Development plan, Twin Home Development Standards, Typical Photos, Elevations, and Floor Plans, and existing and revised Phase III Land Use and Zoning site plans; and

WHEREAS, the Plan Commission evaluated the development proposal in accordance with Municipal Code Section 17.26(16)(d)1 which directs such evaluation as a conditional use permit under section 17.47; and

WHEREAS, on April 7, 2014 the Plan Commission conducted a public hearing to consider PD CUP Resolution #14-01 after publication and mailing of all required notices and hearing all concerns and comments

**Planned Development
C.U.P. Resolution # 14-01**

NOW, THEREFORE BE IT RESOLVED, that the Plan Commission of the City of Chippewa Falls, Wisconsin finds;

1. That upon review of PD C.U.P. Resolution #14-01 and the approved Storm Water Management Plan by City Staff, the proposed revised nine(9) single family and Thirty(30) Twin Home Lot layout footprint will result in the same amount or more common space and green space as the original thirty-five(35) lot layout.

2. The Plan Commission further finds that the revised phase III plat and land use plan are not detrimental to adjacent land uses because the revisions do not present any substantial changes in land use intensity.

3. The Plan Commission further finds that the revised plat and land uses are consistent with the original purpose and intent of C.U.P. Resolutions #07-03 and amendments #12-03 and #12-04 because the revised lot sizes, areas, widths and setbacks represent a similar intensity of land use.

**NOW, THEREFORE, BE IT FURTHER RESOLVED BY THE PLAN
COMMISSION OF THE CITY OF CHIPPEWA FALLS, WISCONSIN:**

1) That conclusions based on the previous three findings of fact and pursuant to Chapters 17.26, 17.26.5 and 17.47 of the Code of Ordinances of the City of Chippewa Falls, that Conditional Use Permit Resolutions #07-03 and amendments #12-03 and #12-04 are hereby amended to include the revised Willow Creek phase III plat, General Development plan, Twin Home Development Standards, Typical Photos, Elevations, and Floor Plans, and existing and revised Phase III Land Use and Zoning site plans contingent on the following conditions:

- a) Completion, submission and approval of any necessary Storm Water Management Plan changes for Phases I and III of the Willow Creek Subdivision.
- b) Submittal of the Willow Creek Phase I and III plat revisions to the Plan Commission for review using procedures set forth in State Statute 236 and Municipal Code Chapter 18 and approval by the City of Chippewa Falls Common Council.

**Planned Development
C.U.P. Resolution # 14-01**

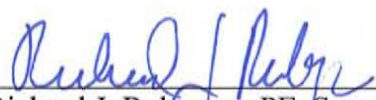
- c) Completion and City Council approval of a Developers Agreement for Phase III of Willow Creek.
- d) The attached general development plan in combination with changes made by the Plan Commission becomes the Final Development Plan and is available for inspection in the offices of the City Engineer and the City Inspector.
- e) The Willow Creek revised phase III plat, General Development plan, Twin Home Development Standards, Typical Photos, Elevations, and Floor Plans, and existing and revised Phase III Land Use and Zoning site plans become part and Parcel of PD CUP #14-01 and are available for inspection in the City of Chippewa Falls Engineering and Inspection offices.
- f) Twin Homes are Owner occupied.
- g) Chapter 17.47(13) shall apply and this permit shall terminate if the use for which this permit is issued shall cease for a continuous two (2) year period.
- h) Modifications or changes to this permit may be made only by the Plan Commission after an application for an amendment has been duly filed and notices and hearing requirements have been complied with.

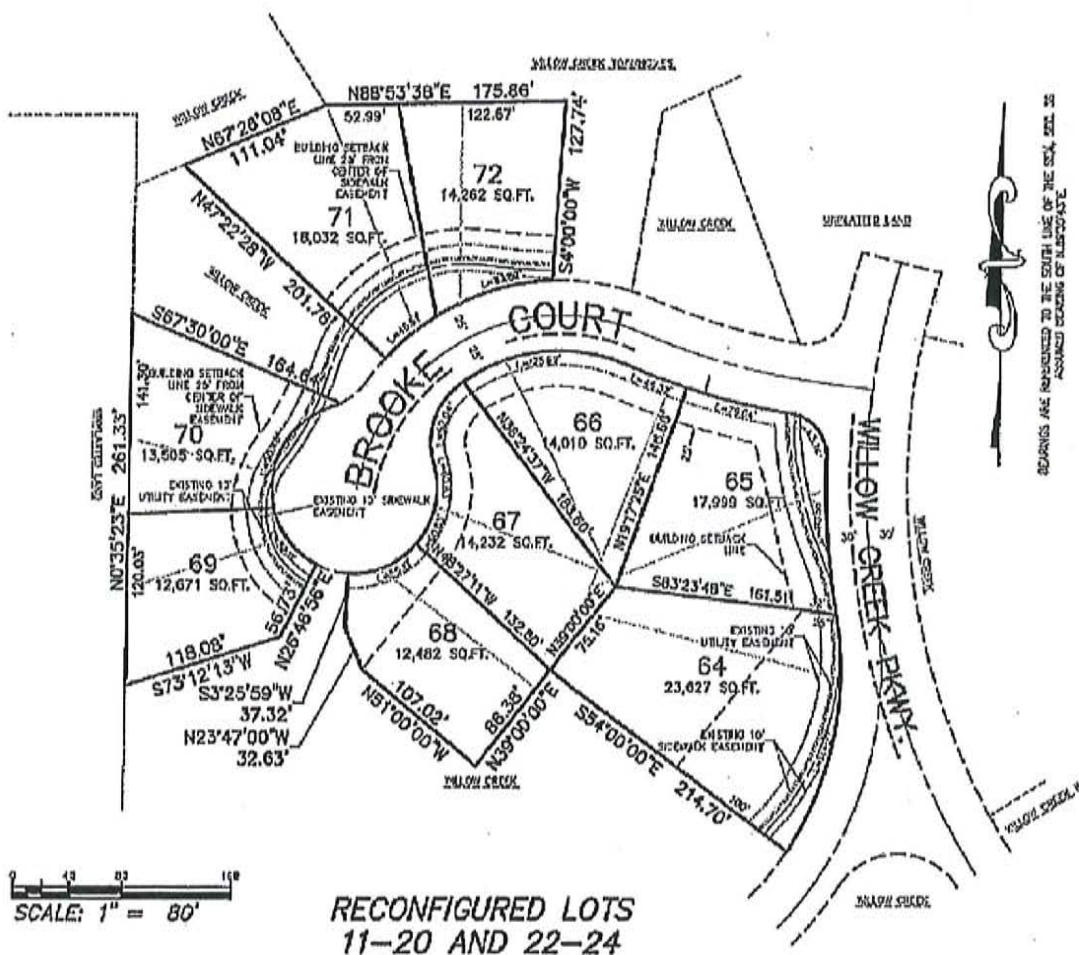
2) Further that the said revisions replace the original documents of C.U.P. Resolution #07-03 and amendment C.U.P. Resolutions # 12-03 and #12-04 in their entirety become PD C.U.P. Resolution #14-01.

MOTION: Hubbard

SECONDED: Varga

I hereby certify that the Plan Commission of the City of Chippewa Falls, Wisconsin, adopted the above Resolution on April 7, 2014, by a vote of 9 ayes, 0 nays and 0 abstentions.


Richard J. Rubenzer, PE, Secretary
Plan Commission

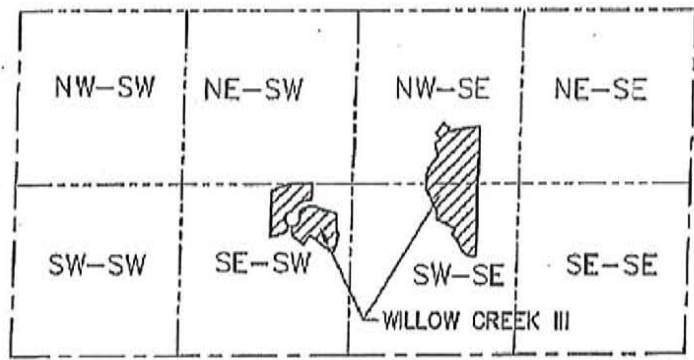


SCALE: 1" = 80'

RECONFIGURED LOTS
11-20 AND 22-24

LOCATION SKETCH

S1/2, SECTION 36, T29N, R9W



LANDOWNERS/SUBDIVIDERS:

- WESTWOOD LAND COMPANY LLC

APPROVING AUTHORITIES:

- CITY OF CHIPPEWA FALLS

OBJECTING AUTHORITIES:

- DEPARTMENT OF ADMINISTRATION

SURVEYOR:

- PETER J. GARTMANN R.L.S. No. 2279
REAL LAND SURVEYING
635 FAIRFAX ST.
ALTOONA, WISCONSIN 54720

ENGINEER:

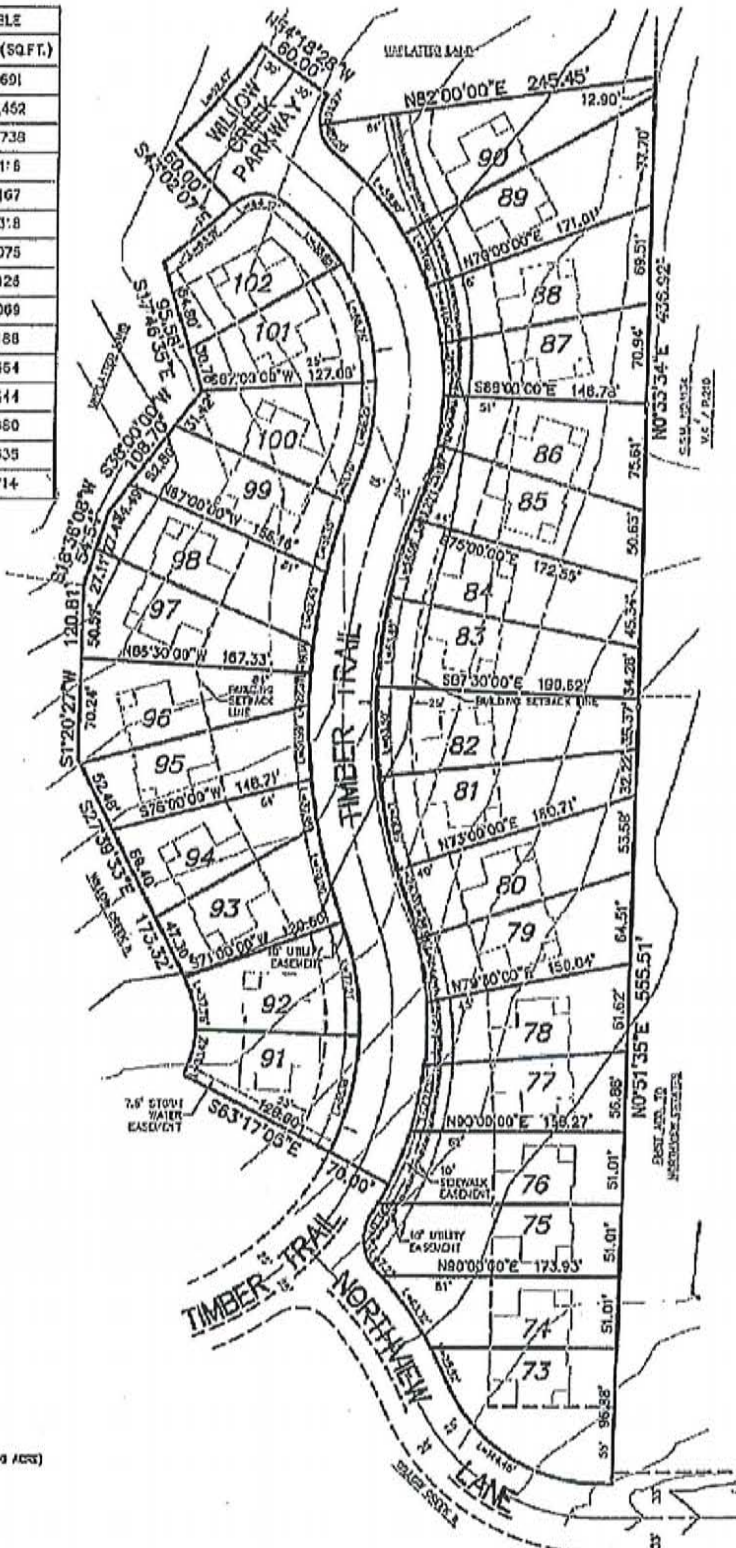
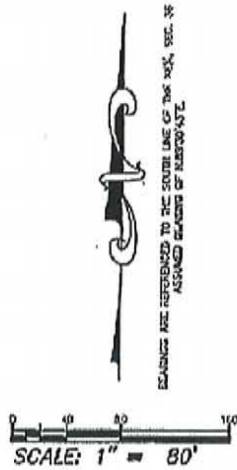
- SEAN BOHAN
ADVANCED ENGINEERING CONCEPTS
635 FAIRFAX ST.
ALTOONA, WISCONSIN 54720

PRELIMINARY PLAT OF
WILLOW CREEK III

IN THE NE¼ OF THE SW¼, SE¼ OF THE SW¼, NW¼ OF
THE SE¼ AND THE SW¼ OF THE SE¼
SECTION 36, T29N, R9W,
CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN
INCLUDING ALL OF LOTS 11-20 AND LOTS 22-24, WILLOW CREEK

PARCEL TABLE	
LOT NO.	AREA (SQ.FT.)
73	9,733
74	7,823
75	9,376
76	8,458
77	7,739
78	7,783
79	8,333
80	8,763
81	9,102
82	9,190
83	9,343
84	9,093
85	9,457
86	9,268
87	7,962

PARCEL TABLE	
LOT NO.	AREA (SQ.FT.)
88	8,691
89	10,452
90	11,738
91	7,116
92	7,167
93	7,318
94	7,075
95	8,128
96	8,009
97	8,188
98	8,464
99	7,444
100	7,880
101	7,535
102	7,714



AREAS (NEW DEVELOPMENT):
 TOTAL - 292,864 SQ.FT. (6.8 ACRES)
 PROPOSED STREET TO BE DECKATED - 41,300 SQ.FT. (1.0 ACRES)
 LOTS (34) - 252,524 SQ.FT. (5.8 ACRES)
 UNPAID FEET OF PROPOSED STREETS - 800'±
 AREA (RECONFIGURED LOTS):
 TOTAL - 140,818 SQ.FT. (3.2 ACRES)

PRELIMINARY PLAT OF
WILLOW CREEK III
 IN THE NE¼ OF THE SW¼, SE¼ OF THE SW¼, NW¼ OF
 THE SE¼ AND THE SW¼ OF THE SE¼
 SECTION 36, T29N, R9W,
 CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN
 INCLUDING ALL OF LOTS 11-20 AND LOTS 22-24, WILLOW CREEK

PREPARED BY REAL LAND SURVEYING
 630 NO. 1325th Preliminary

Willow Creek III, Preliminary Plat

General Description:

Willow Creek III consists of changing some of the lot sizes on the Willow Creek phase I plat, lots 11-17, 18-20, 22-24 and the addition of 30 twin home lots.

Lot Size Change:

The lot size change will take these 13 lots and make 9 larger lots. The average size of the original 13 lots was 10,832.15 (.25 acres) and the average lot size for the new 9 lots is 15,646.44 (.36 acres). This will make the lots more saleable and allow for a larger variety of single family home types.

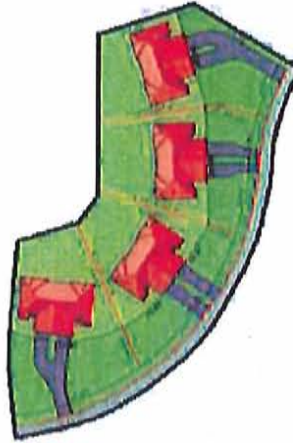
Twin Home Lots:

The twin home lot addition will take 22 single family lots in the approved Willow Creek PUD and convert them to 30 twin home lots. We have seen an increased demand for owner occupied twin homes. The approved Willow Creek phase II plat consisted of 12 twin home lots. In 2013 we sold 4 of those lots and are currently building on 2 more. A twin home is built to be owner occupied with each half of the building being sold as a single family home. The twin home concept allows a potential buyer to essentially get more home for their money by taking advantage of the cost savings associated with building a single structure. The price ranges of the sold buildings are from \$165,000 - \$179,000 and we for see the future buildings being around the same cost or higher.

PUD Density Change:

The Willow Creek Phase I lot size change decreased the density by 4 units. The conversion of 22 single family lots into 30 twin home lots increased the density by 8 units. The net difference between the approved PUD and the proposed Willow Creek III preliminary plat would increase the total density of the Willow Creek development by 4 units. The total development would go from 532 home sites to 536.

Multi Family Home Type 2I



Lot Standards		Primary Use	Accessory Use	Conditions/Exception to Use
land use		twin home or duplex	Per section 17.08	Per section 17.08
required yards			Per section 17.08	Per section 17.08
front		build to line		
side		6 feet		
rear		25 feet		
parking		2 per unit	Per section 17.08	Per section 17.08
max height		35 feet	Per section 17.08	Per section 17.08
allowed yard encroachments		Stairs, stoops, bay windows, eave overhangs, patios, chimneys, fireplaces, driveways, decks, sidewalks, and landscaping	Per section 17.08	Per section 17.08

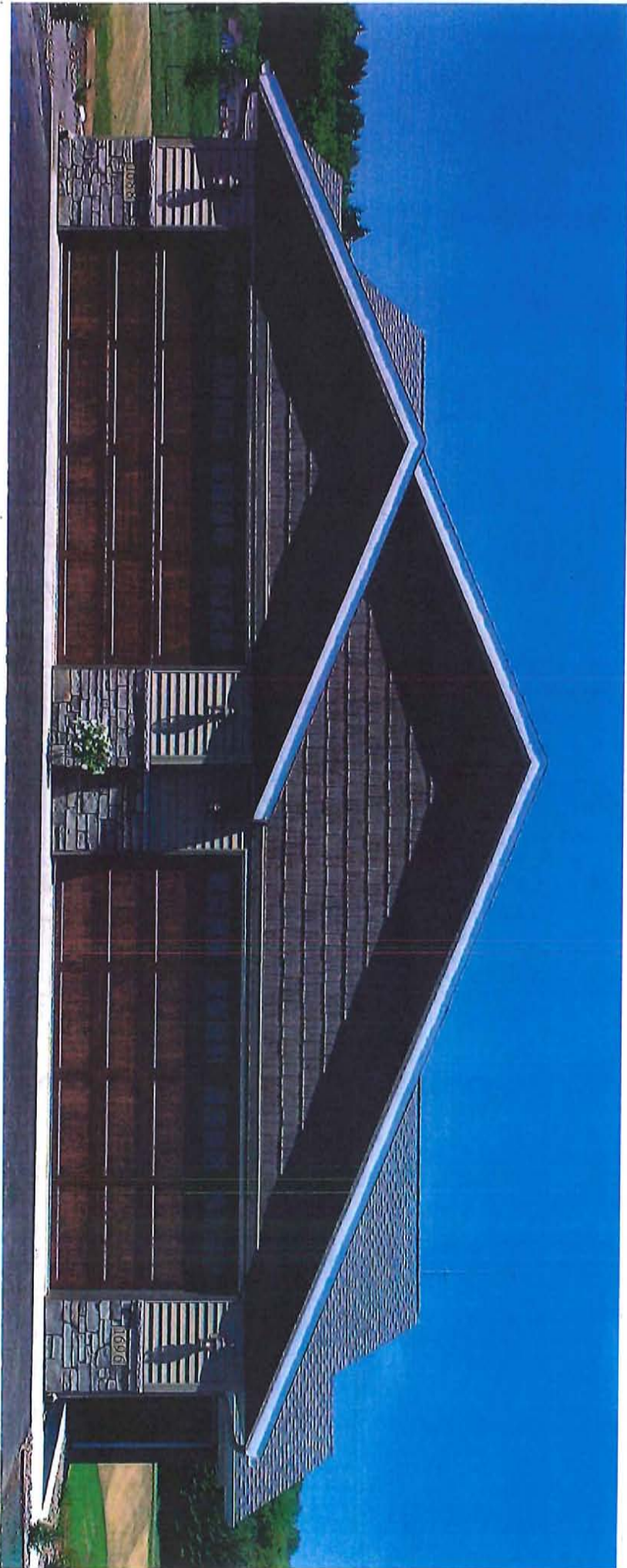
Additional Information: The Twin Home District is intended to provide for development of zero lot line twin home development. Ownership of each unit will be on separate deeds. Compliance with State of Wisconsin one (1) and two (2) family Uniform Dwelling Code for attached units is required.

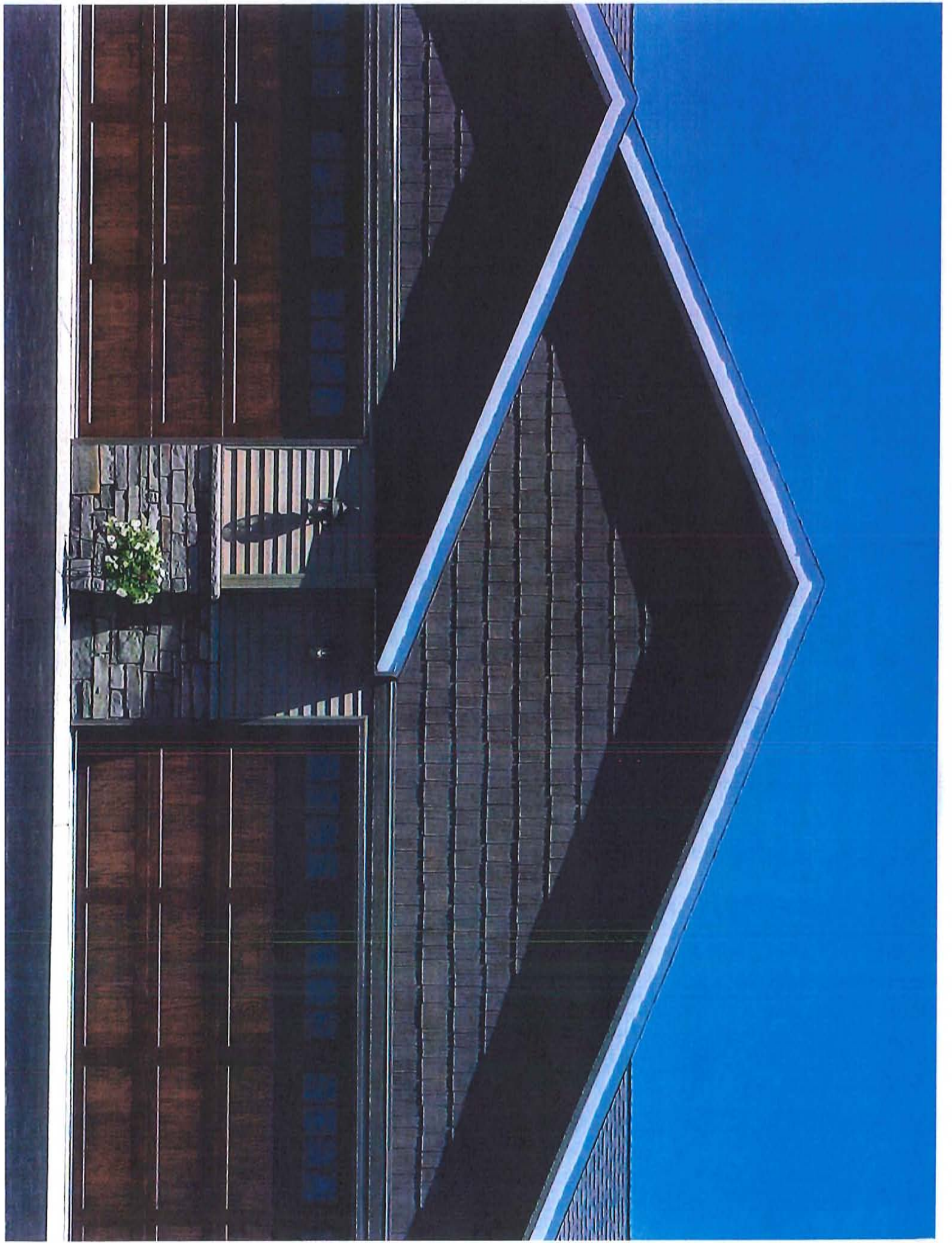
Twin Home Plats will be processed similar to other plats giving consideration to the requirements noted above. Provided, however, the fee for processing the plat will be half the fee established by council on a per lot basis.

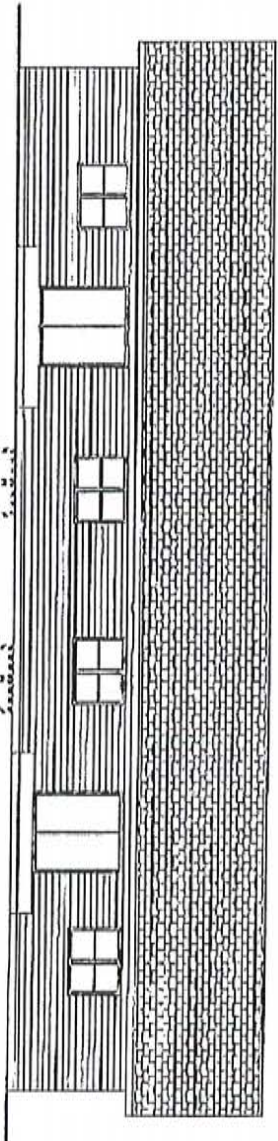
- A. A joint or attached driveway serving attached twin home dwellings is permitted provided covenants addressing the maintenance of such driveway are in a form approved by the city.
- B. A minimum fire separation complying with Comm. 21.08, Wis. Admin. Code, providing a vertical separation of all areas from the lowest level to flush against the underside of the roof, is required between each dwelling unit.
- C. The plans specification, and construction shall require the installation and construction of separate sewer, water, and other utility services to each twin home dwelling.
- D. Both lots containing attached twin home dwellings shall be held under the same ownership until the completion of construction of the twin home dwellings.
- E. A maintenance agreement (party wall agreement), approved by the City Zoning Administrator, shall be entered into by the owners of the attached twin home dwelling in order to ensure that equal and reasonable maintenance and repairs are performed on the attached twin home dwellings. Alternatively, provisions for maintenance of common walls may be incorporated into applicable covenants to be reviewed and approved by the City.
- F. Easements necessary for water, sewer, and utility services and the maintenance agreement, shall be recorded with the Chippewa County Register of Deeds.
- G. The exterior and roof materials on each attached twin home dwelling shall be of the same color, quality, and consistency.

26/10/2013 10:08



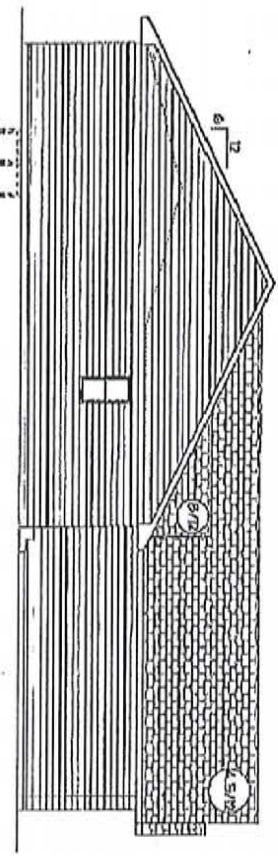






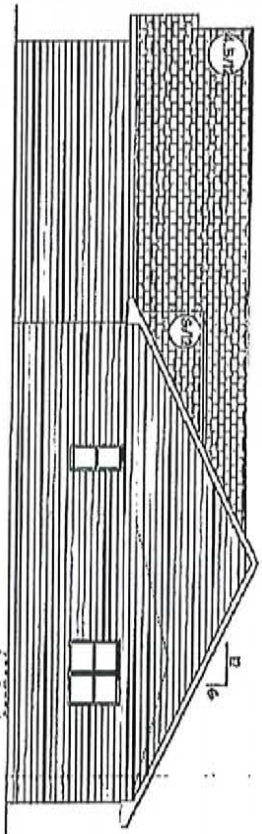
REAR ELEVATION
HEARTLAND CONTRACTING - TWIN HOME
WILLOW CREEK LOT #43/44
SCALE: 1/4" = 1'-0" D:\C-2013

PRELIMINARY PLAN
ABC - CHIPPEWA FALLS



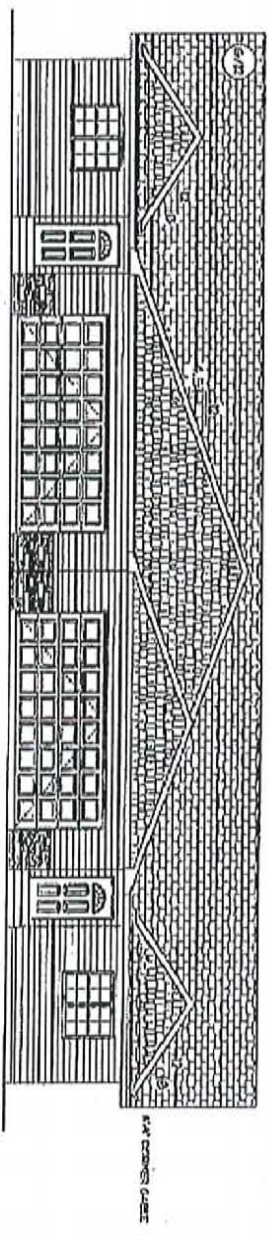
LEFT ELEVATION
HEARTLAND CONTRACTING - TWIN HOME
WILLOW CREEK LOT #43/44
SCALE: 1/4" = 1'-0" D:\C-2013

PRELIMINARY PLAN
ABC - CHIPPEWA FALLS



RIGHT ELEVATION
HEARTLAND CONTRACTING - TWIN HOME
WILLOW CREEK LOT #43/44
SCALE: 1/4" = 1'-0" D:\C-2013

PRELIMINARY PLAN
ABC - CHIPPEWA FALLS



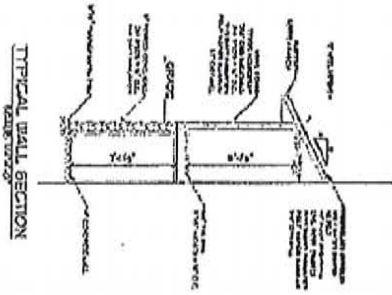
FRONT ELEVATION
HEARTLAND CONTRACTING - TWIN HOME
WILLOW CREEK LOT #43/44
SCALE: 1/4" = 1'-0" D:\C-2013

PRELIMINARY PLAN
ABC - CHIPPEWA FALLS

HBC *Arrow*
 HBC ARCHITECTURE
 1000 W. 10TH ST. #100
 WISCONSIN, WI 53090
 TEL: 414.224.8800
 FAX: 414.224.8801
 WWW.HBCARCHITECTURE.COM

HEARTLAND CONTRACTING
 WILLOW CREEK LOT #43/44
 STREET ADDRESS, CITY, STATE

DATE: 03/09/13
 DRAWN BY: J. H. HARRIS
 CHECKED BY: J. H. HARRIS
 PROJECT NO: 13-00-013
 SHEET NO: 003
 TOTAL SHEETS: 003



WALL BRACING ANALYSIS

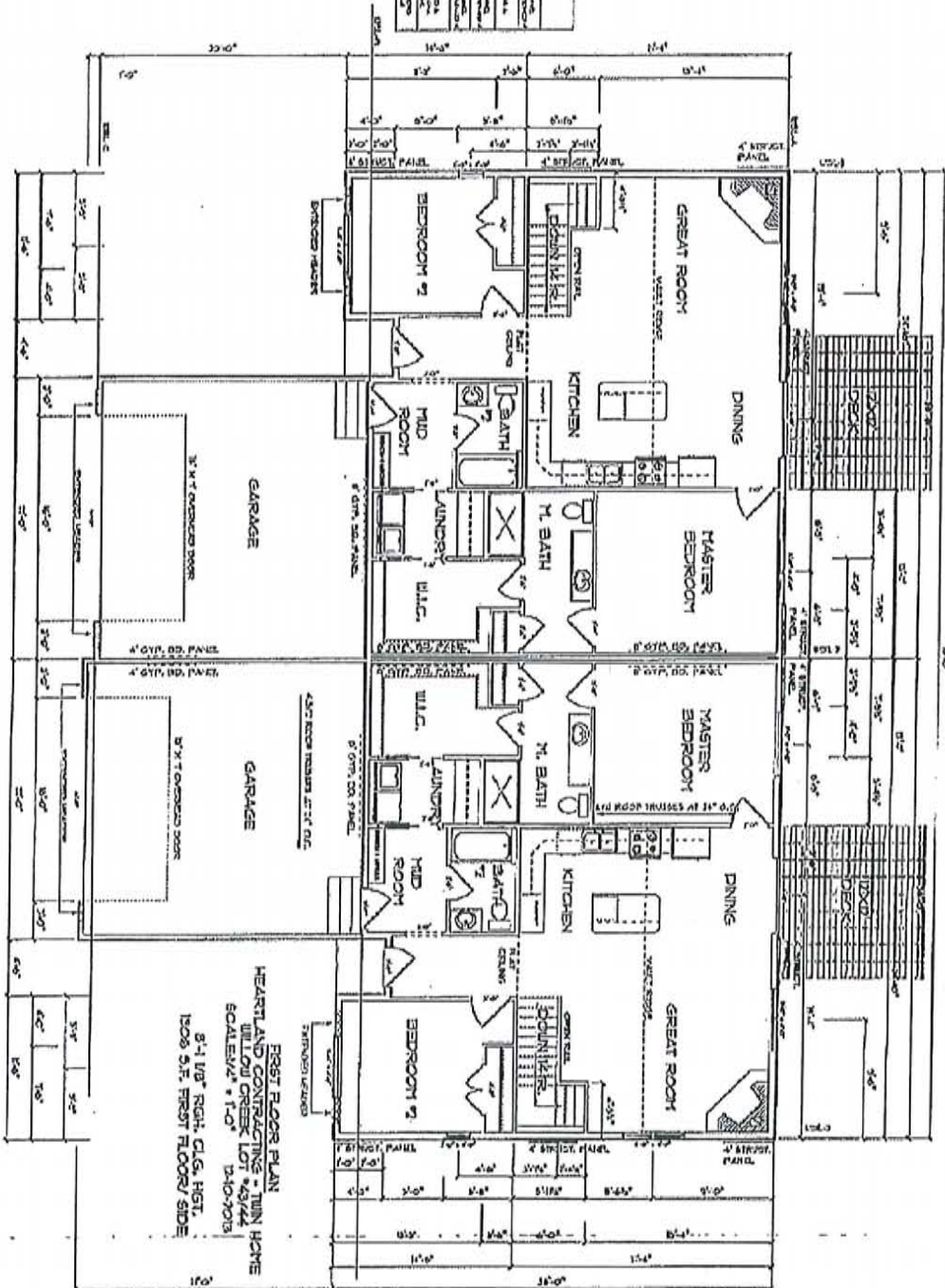
WALL TYPE	HEIGHT	BRACING	WIND SPEED	WIND PRESSURE	WIND FORCE	WIND MOMENT	WIND DRIFT	WIND DEFLECTION
1/2\"/>								

WALL BRACING

1. WALL BRACING SHALL BE PROVIDED AS SHOWN.
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WALL STRUCTURAL SYMBOLS

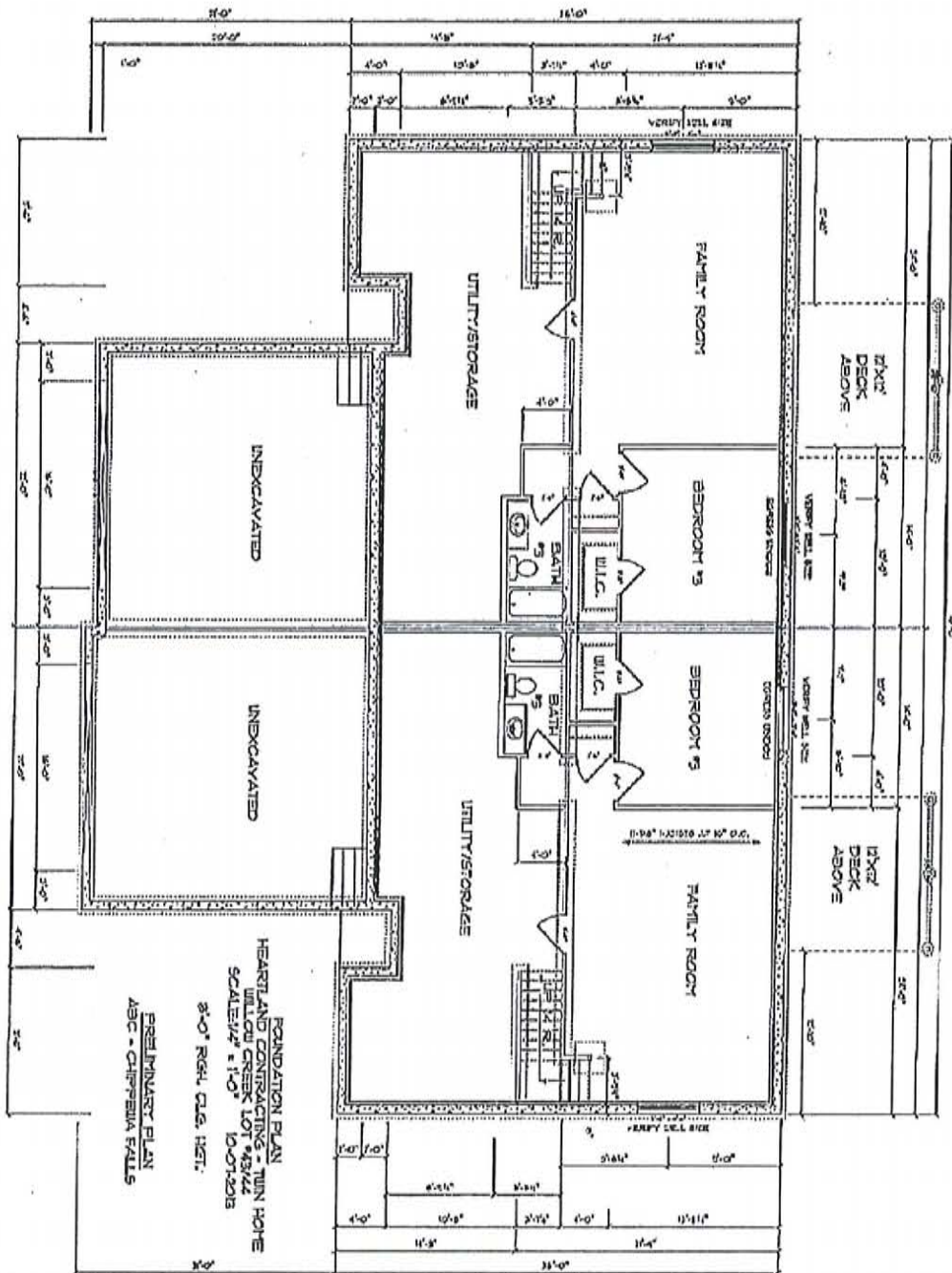
- 1. WALL BRACING
- 2. WALL BRACING
- 3. WALL BRACING
- 4. WALL BRACING
- 5. WALL BRACING
- 6. WALL BRACING
- 7. WALL BRACING
- 8. WALL BRACING
- 9. WALL BRACING
- 10. WALL BRACING



FIRST FLOOR PLAN
 HEARTLAND CONTRACTING - TWIN HWYS
 WILLOW CREEK LOT #43/44
 SCALE: 1/8" = 1'-0"
 1508 S.F. FIRST FLOOR SIDE

HEARTLAND CONTRACTING
 WILLOW CREEK LOT #43/44
 STREET ADDRESS, CITY, STATE

BBB
 ANTI
 NOT A RATING AGENCY
 10000 WILLOW CREEK
 DALLAS, TEXAS 75243



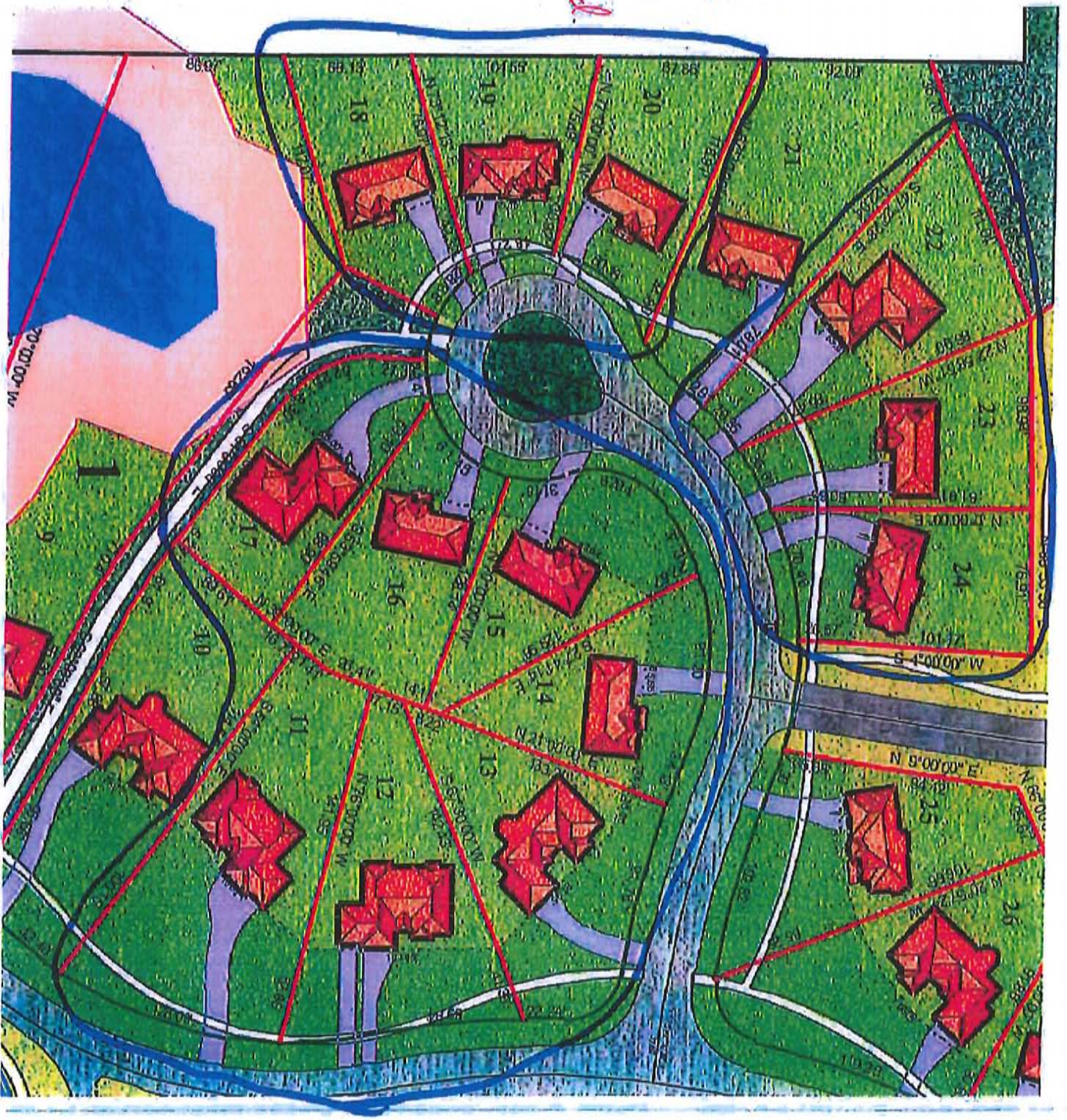
FOUNDATION PLAN
 HEARTLAND CONTRACTING - TWIN HOPE
 WILLOW CREEK LOT #43/44
 SCALE: 1/4" = 1'-0" DOOR-2013
 8'-0" RIGID CLG. HGT.
 PRELIMINARY PLAN
 ABC - CHIPPEWA FALLS

HEARTLAND CONTRACTING
 WILLOW CREEK LOT #43/44
 STREET ADDRESS, CITY, STATE

NOT TO SCALE
 ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
 ALL WALLS TO BE CONCRETE
 ALL FLOORS TO BE CONCRETE
 ALL CEILING TO BE CONCRETE
 ALL ROOF TO BE ASPH/FLT
 ALL EXTERIOR FINISH TO BE BRICK
 ALL INTERIOR FINISH TO BE DRYWALL
 ALL DOORS TO BE 6'0" X 2'0" SWELL SIZE
 ALL WINDOWS TO BE 6'0" X 6'0" SWELL SIZE
 ALL STAIRS TO BE 8'0" X 6'0" SWELL SIZE
 ALL HALLWAYS TO BE 4'0" X 6'0" SWELL SIZE
 ALL BATHS TO BE 5'0" X 7'0" SWELL SIZE
 ALL BEDROOMS TO BE 11'0" X 11'0" SWELL SIZE
 ALL KITCHENS TO BE 10'0" X 11'0" SWELL SIZE
 ALL FAMILY ROOMS TO BE 11'0" X 11'0" SWELL SIZE
 ALL DECKS TO BE 12'0" X 12'0" SWELL SIZE
 ALL PORCHES TO BE 10'0" X 10'0" SWELL SIZE
 ALL PATIOS TO BE 10'0" X 10'0" SWELL SIZE
 ALL GARAGES TO BE 12'0" X 20'0" SWELL SIZE
 ALL ATTIC TO BE 10'0" X 10'0" SWELL SIZE
 ALL CRAWL SPACE TO BE 10'0" X 10'0" SWELL SIZE
 ALL FOUNDATION TO BE 18" X 18" CONCRETE
 ALL FOUNDATION WALLS TO BE 12" X 12" CONCRETE
 ALL FOUNDATION FLOORS TO BE 4" X 8" CONCRETE
 ALL FOUNDATION CEILING TO BE 4" X 8" CONCRETE
 ALL FOUNDATION EXTERIOR FINISH TO BE BRICK
 ALL FOUNDATION INTERIOR FINISH TO BE DRYWALL
 ALL FOUNDATION DOORS TO BE 6'0" X 2'0" SWELL SIZE
 ALL FOUNDATION WINDOWS TO BE 6'0" X 6'0" SWELL SIZE
 ALL FOUNDATION STAIRS TO BE 8'0" X 6'0" SWELL SIZE
 ALL FOUNDATION HALLWAYS TO BE 4'0" X 6'0" SWELL SIZE
 ALL FOUNDATION BATHS TO BE 5'0" X 7'0" SWELL SIZE
 ALL FOUNDATION BEDROOMS TO BE 11'0" X 11'0" SWELL SIZE
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 ALL FOUNDATION FAMILY ROOMS TO BE 11'0" X 11'0" SWELL SIZE
 ALL FOUNDATION DECKS TO BE 12'0" X 12'0" SWELL SIZE
 ALL FOUNDATION PORCHES TO BE 10'0" X 10'0" SWELL SIZE
 ALL FOUNDATION PATIOS TO BE 10'0" X 10'0" SWELL SIZE
 ALL FOUNDATION GARAGES TO BE 12'0" X 20'0" SWELL SIZE
 ALL FOUNDATION ATTIC TO BE 10'0" X 10'0" SWELL SIZE
 ALL FOUNDATION CRAWL SPACE TO BE 10'0" X 10'0" SWELL SIZE

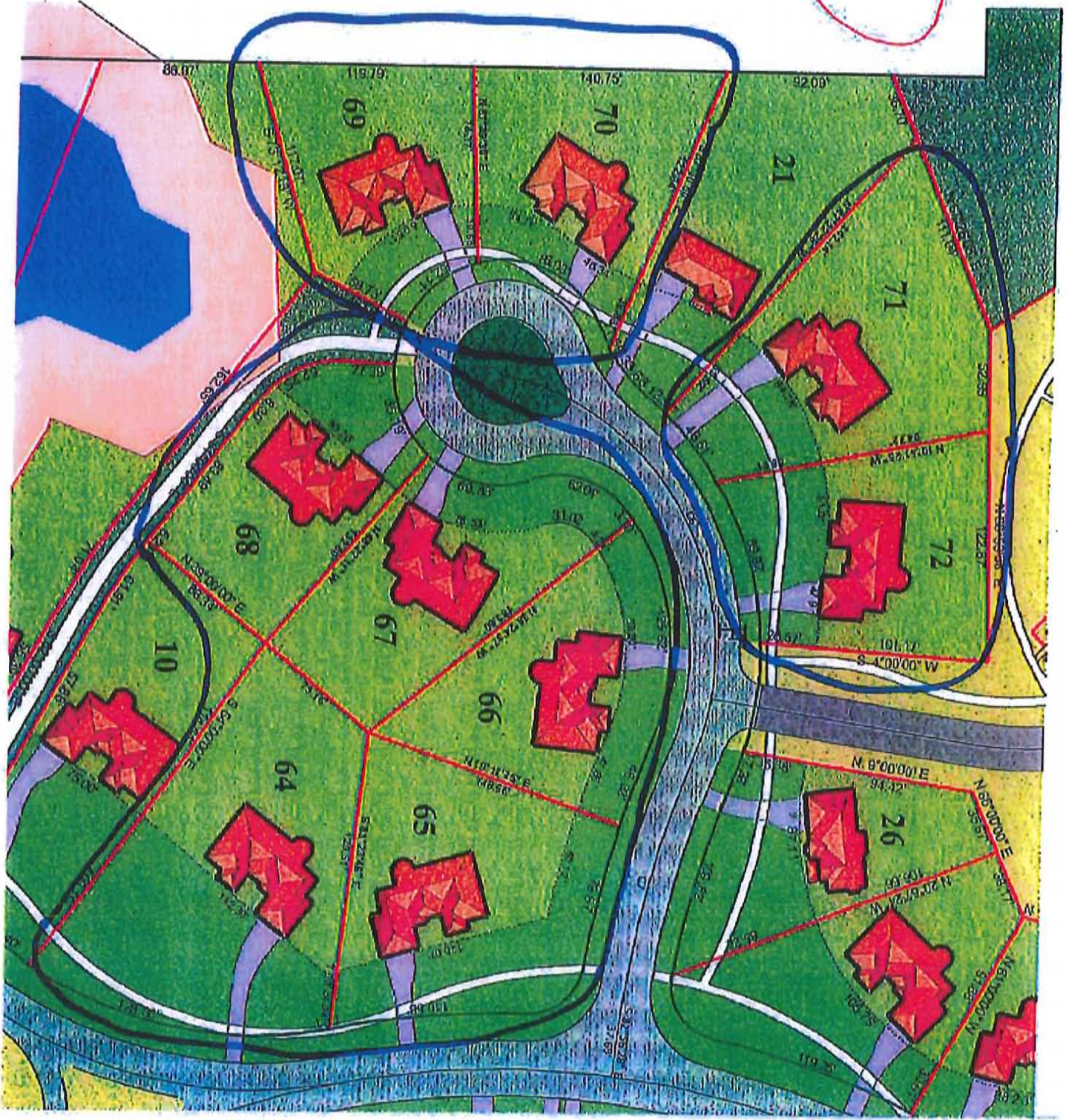


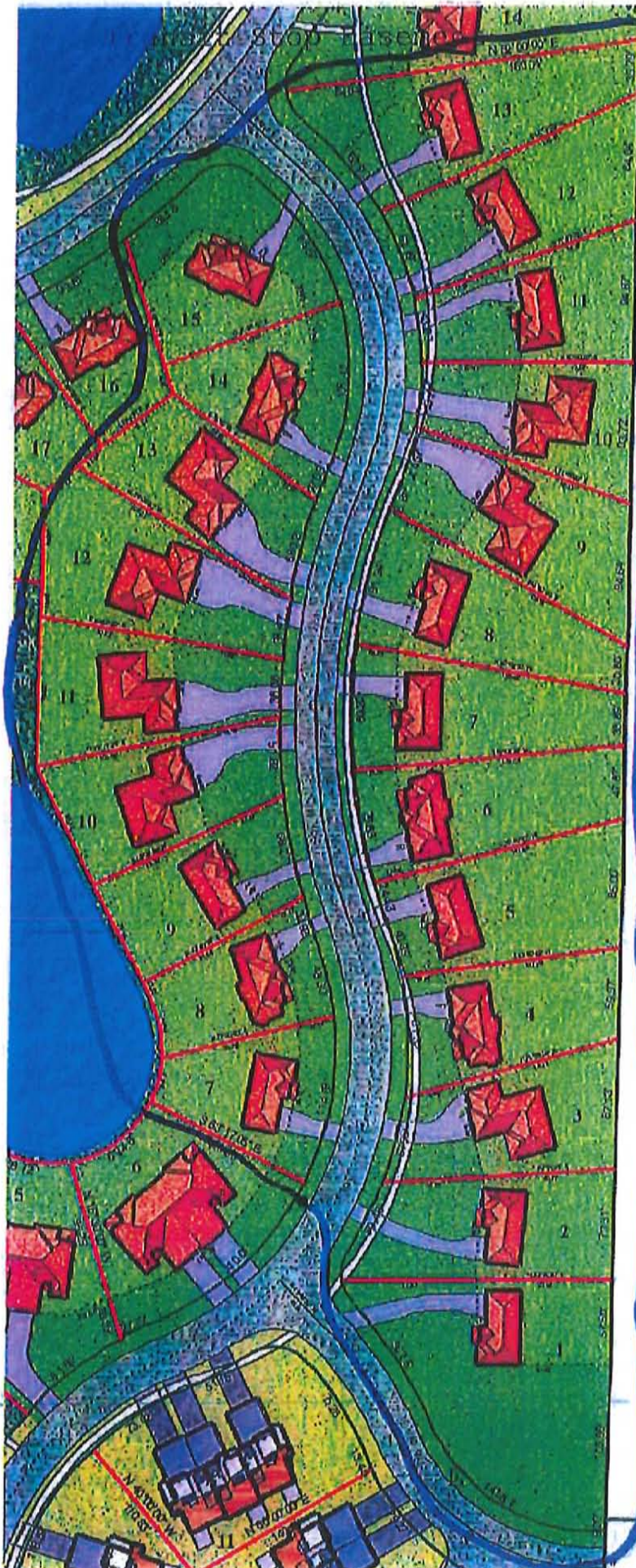
Original
Willow Creek
Phase I lots
before they
were enlarged.
13 lots



New
Larger
Lots

9 Lots



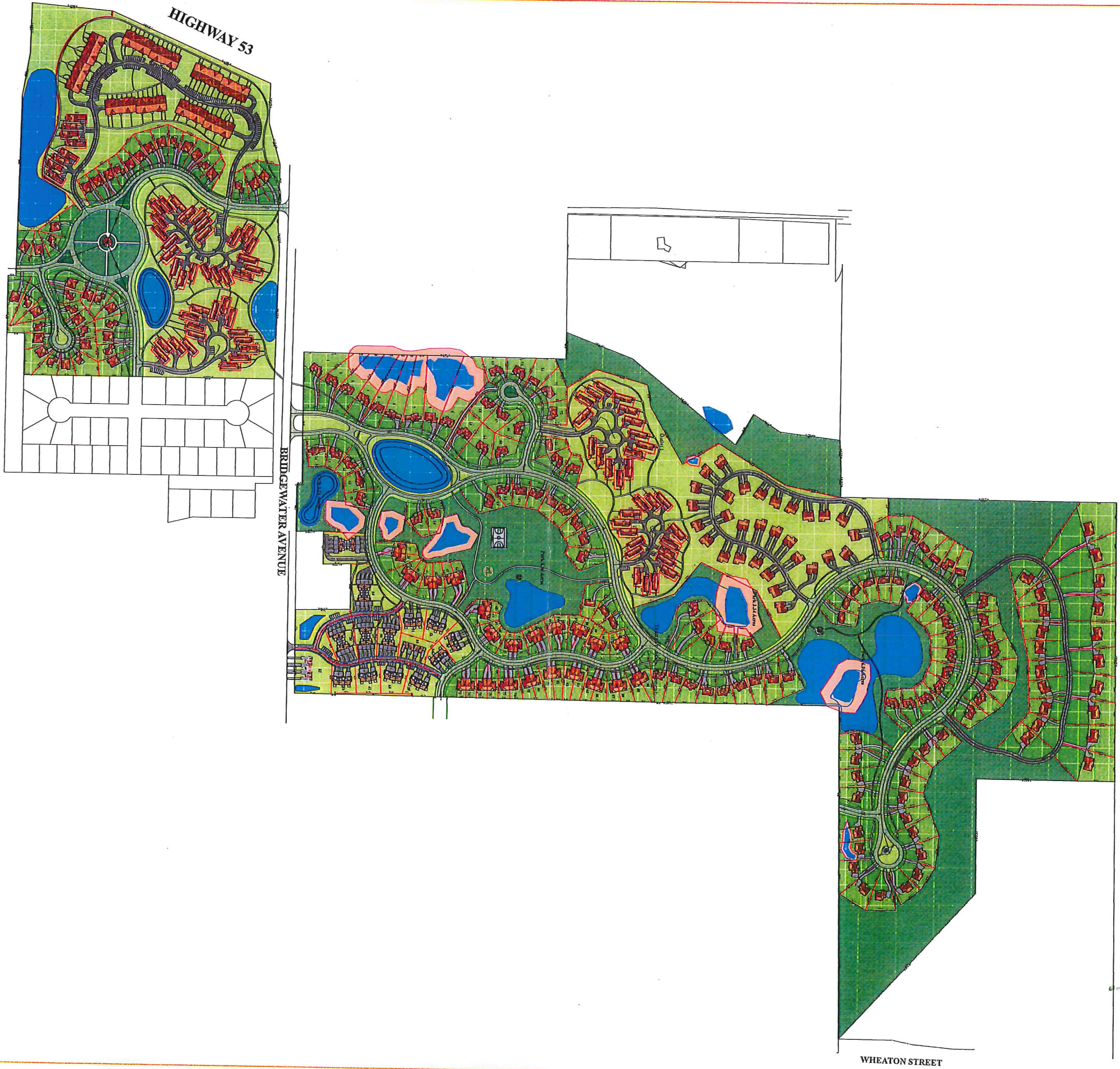
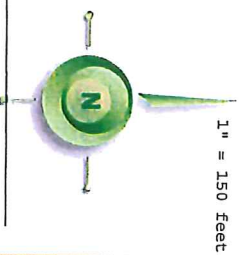


*Original
22 Single Family
Lots*



*New Twin Home
Lots*

*30 twin home
lots.*



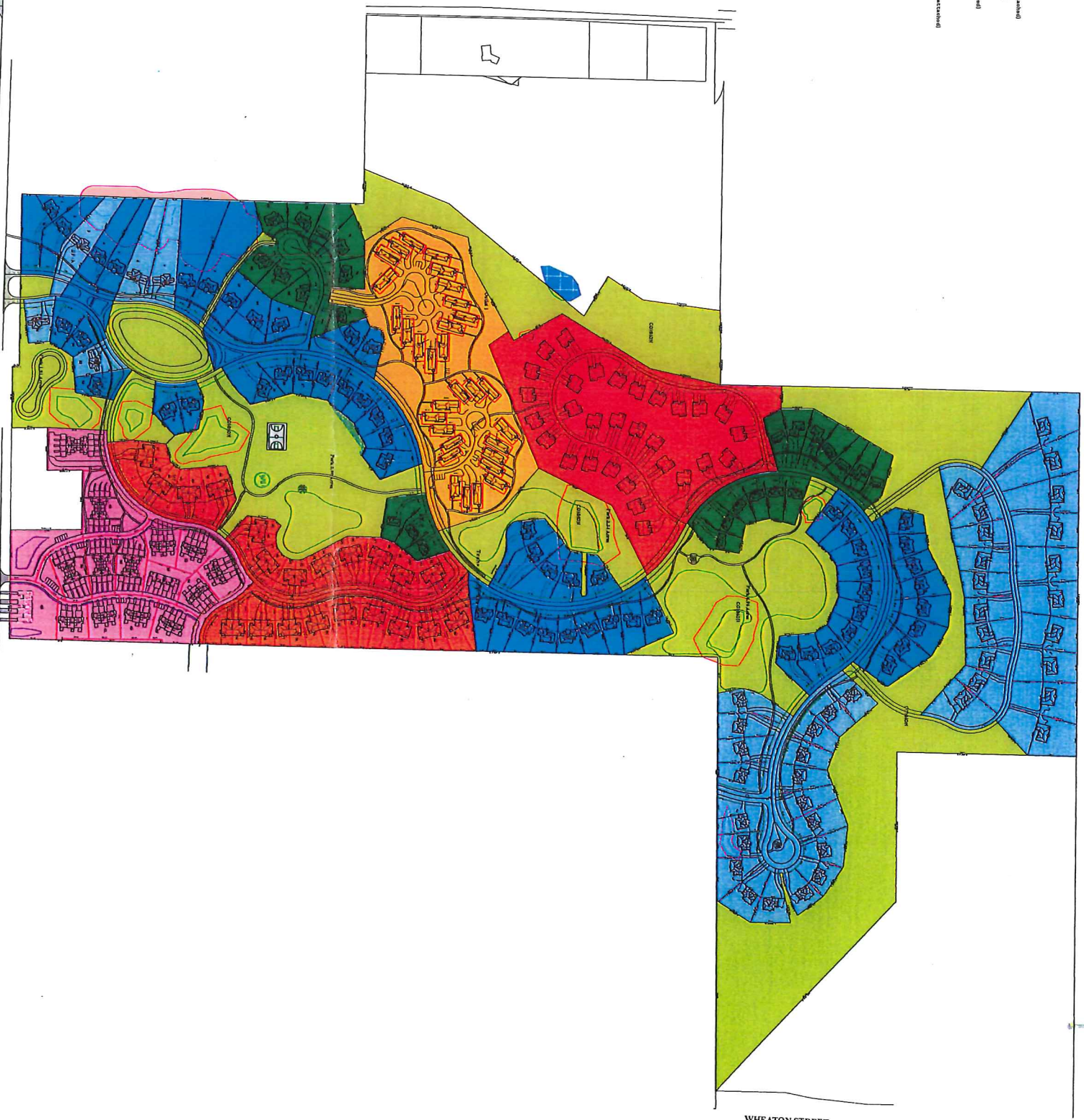
Rick Harrison Site Design Studio
www.rickharrison.com 763-595-0055 Copyright 2012 RHSD

Developer: Westwood Land Company, LLC
13167 County OO
Chippewa Falls, WI 54729



LAND USE AREA AND DISTRICTS:
DISTRICT FINDER LIST:

DP-4	22,119 Acres
DP-5	24,421 Acres
DP-6	8,719 Acres
DP-7	12,316 Acres
DP-8	21,279 Acres (Impound, all detached)
DP-9	21,279 Acres (Impound, all detached)
DP-10	21,279 Acres (Impound, all detached)
DP-11	21,279 Acres (Impound, all detached)
DP-12	21,279 Acres (Impound, all detached)
DP-13	21,279 Acres (Impound, all detached)
DP-14	21,279 Acres (Impound, all detached)
DP-15	21,279 Acres (Impound, all detached)
DP-16	21,279 Acres (Impound, all detached)
DP-17	21,279 Acres (Impound, all detached)
DP-18	21,279 Acres (Impound, all detached)
DP-19	21,279 Acres (Impound, all detached)
DP-20	21,279 Acres (Impound, all detached)
DP-21	21,279 Acres (Impound, all detached)
DP-22	21,279 Acres (Impound, all detached)
DP-23	21,279 Acres (Impound, all detached)
DP-24	21,279 Acres (Impound, all detached)
DP-25	21,279 Acres (Impound, all detached)
DP-26	21,279 Acres (Impound, all detached)
DP-27	21,279 Acres (Impound, all detached)
DP-28	21,279 Acres (Impound, all detached)
DP-29	21,279 Acres (Impound, all detached)
DP-30	21,279 Acres (Impound, all detached)
DP-31	21,279 Acres (Impound, all detached)
DP-32	21,279 Acres (Impound, all detached)
DP-33	21,279 Acres (Impound, all detached)
DP-34	21,279 Acres (Impound, all detached)
DP-35	21,279 Acres (Impound, all detached)
DP-36	21,279 Acres (Impound, all detached)
DP-37	21,279 Acres (Impound, all detached)
DP-38	21,279 Acres (Impound, all detached)
DP-39	21,279 Acres (Impound, all detached)
DP-40	21,279 Acres (Impound, all detached)
DP-41	21,279 Acres (Impound, all detached)
DP-42	21,279 Acres (Impound, all detached)
DP-43	21,279 Acres (Impound, all detached)
DP-44	21,279 Acres (Impound, all detached)
DP-45	21,279 Acres (Impound, all detached)
DP-46	21,279 Acres (Impound, all detached)
DP-47	21,279 Acres (Impound, all detached)
DP-48	21,279 Acres (Impound, all detached)
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DP-54	21,279 Acres (Impound, all detached)
DP-55	21,279 Acres (Impound, all detached)
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DP-60	21,279 Acres (Impound, all detached)
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DP-62	21,279 Acres (Impound, all detached)
DP-63	21,279 Acres (Impound, all detached)
DP-64	21,279 Acres (Impound, all detached)
DP-65	21,279 Acres (Impound, all detached)
DP-66	21,279 Acres (Impound, all detached)
DP-67	21,279 Acres (Impound, all detached)
DP-68	21,279 Acres (Impound, all detached)
DP-69	21,279 Acres (Impound, all detached)
DP-70	21,279 Acres (Impound, all detached)
DP-71	21,279 Acres (Impound, all detached)
DP-72	21,279 Acres (Impound, all detached)
DP-73	21,279 Acres (Impound, all detached)
DP-74	21,279 Acres (Impound, all detached)
DP-75	21,279 Acres (Impound, all detached)
DP-76	21,279 Acres (Impound, all detached)
DP-77	21,279 Acres (Impound, all detached)
DP-78	21,279 Acres (Impound, all detached)
DP-79	21,279 Acres (Impound, all detached)
DP-80	21,279 Acres (Impound, all detached)
DP-81	21,279 Acres (Impound, all detached)
DP-82	21,279 Acres (Impound, all detached)
DP-83	21,279 Acres (Impound, all detached)
DP-84	21,279 Acres (Impound, all detached)
DP-85	21,279 Acres (Impound, all detached)
DP-86	21,279 Acres (Impound, all detached)
DP-87	21,279 Acres (Impound, all detached)
DP-88	21,279 Acres (Impound, all detached)
DP-89	21,279 Acres (Impound, all detached)
DP-90	21,279 Acres (Impound, all detached)
DP-91	21,279 Acres (Impound, all detached)
DP-92	21,279 Acres (Impound, all detached)
DP-93	21,279 Acres (Impound, all detached)
DP-94	21,279 Acres (Impound, all detached)
DP-95	21,279 Acres (Impound, all detached)
DP-96	21,279 Acres (Impound, all detached)
DP-97	21,279 Acres (Impound, all detached)
DP-98	21,279 Acres (Impound, all detached)
DP-99	21,279 Acres (Impound, all detached)
DP-100	21,279 Acres (Impound, all detached)



- SF-A
- SF-B
- SF-C
- SF-D
- MF-1
- MF-2
- MF-3
- COMMON

Rick Harrison Site Design Studio
www.rickharrison.com 763-595-0055 Copyright 2012 RHSD

Developer: Westwood Land Company, LLC
13167 County OO
Chippewa Falls, WI 54729



Date Filed: 3-24-14

Fee Paid: \$75.00 Date: 3-24-14 TR# 42345

Fee Paid: _____ Date: _____ TR# _____

PETITION FOR REZONING

TO THE CITY OF CHIPPEWA FALLS, WISCONSIN:

I/We, the undersigned, hereby petition the Common Council of the City of Chippewa Falls, WI., for a rezoning authorized by the Chippewa Falls Zoning Code, Section 17.46, for the following described property:

Address of Property: 10-12 SUNSHINE CIRCLE

Lot: 1 Block _____ Subdivision Gateway Center Parcel # 1703.0230
ejr

or Legal Description: SEE ATTACHED CSM 4144 *ejr*

Present zoning classification of property: E4 HIGHWAY COMMERCIAL

Zoning classification requested: R-3 A MULTIFAMILY

Name & Address of Petitioner:

JOHN SCHEPKE
440 BROADWAY STREET
EAU CLAIRE WI 54703

Home/Business Address:

SAME

Phone Number: (715) 833-9625 Cell- 715 833 9625

Lot number of any real estate owned by the petitioner adjacent to the area proposed to be changed: 24 SUNSHINE

Existing use of all buildings on such land: MULTI FAMILY

Principal use of all properties within 300 feet of such land: N - MULTI FAMILY
S - Hwy 29 AND RIVER E - SINGLE FAMILY W - HWY 53

Purpose for which such property is to be used: 12 UNITS TO ADJOIN
THE 12 UNIT AT 24 SUNSHINE CIRCLE

Recite any facts indicating that the proposed change will not be detrimental to the general public's interest and the purposes of this Chapter:

MOST OF THE NEIGHBORHOOD IS MULTI FAMILY - OFF STREET
PARKING WITH SEVERAL GARAGES

Attach a plot plan or survey plat, drawn to scale, showing the property to be rezoned, location of structures, and property lines within 300 feet of the property to be altered. Attached _____.

Add any further information requested on the petition or which may be required by the Common Council to facilitate the making of a comprehensive report to the Council:

THIS NEIGHBORHOOD WAS AT ONE TIME A GOOD COMMERCIAL AREA,
SINCE HALLIE AND THE SOUTH SIDE OF BLOOMER BECAME VERY
COMMERCIALIZED OUR LOCATION IS NOT AN EASY SITE TO
RENT. THE LAST COMMERCIAL BUILDING WE HAD AVAILABLE FOR
RENT WAS ON THE MARKET FOR OVER 1 YEAR WE DID NOT GET
ONE PERSON TO EVEN LOOK AT IT.

IN ORDER FOR THIS PETITION TO BE CONSIDERED, THE OWNER (S) OF THE PROPERTY MUST SIGN BELOW:

Owners/Addresses

Petitioners/Addresses

JOHN P. SCHEPPE

440 BROADWAY STREET

EVANCLINE WI 54703

John Scheppe

CHIPPEWA CO. CERTIFIED SURVEY
MAP No. _____

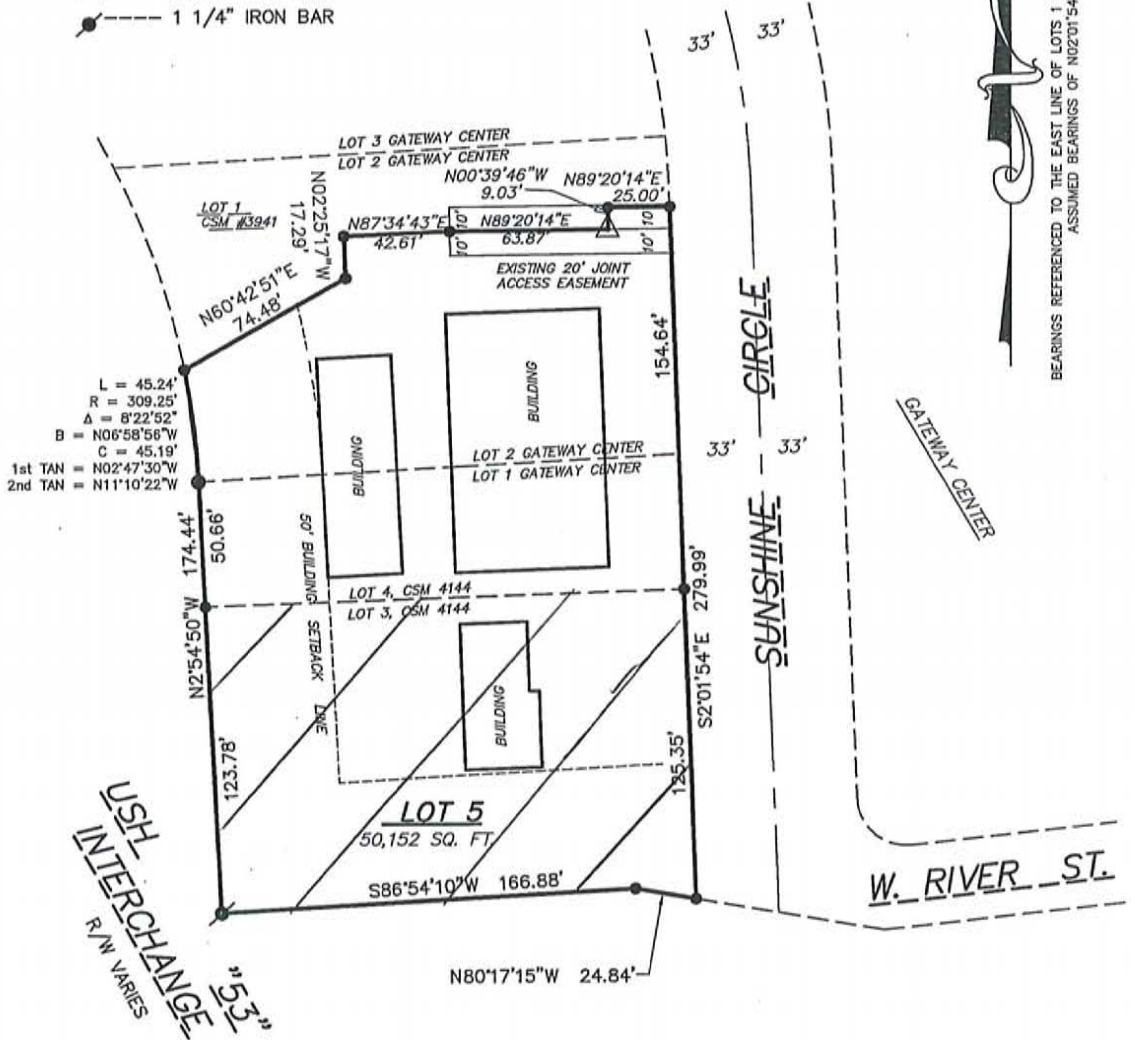
RECORDED IN VOL. _____ OF CERTIFIED SURVEY MAPS PAGE _____

REGISTER

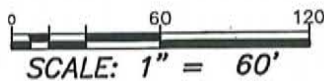
BEING ALL OF LOTS 3 & 4, CERTIFIED SURVEY MAP #4144, VOLUME 19,
 PAGES 7-8, FORMERLY LOTS 1 AND 2, GATEWAY CENTER AND LOT 2
 CERTIFIED SURVEY MAP #3941, VOLUME 18, PAGES 50-51
 IN THE GOVERNMENT LOT 4
 SECTION 12, T28N, R9W,
 CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN

LEGEND

- --- FND. 2" IRON PIPE
- --- FND. 1" O.D. IRON PIPE
- --- SET 1" O.D. x 18" IRON PIPE
WEIGHING 1.13 LBS./LIN.FT.
- △ --- FOUND P.K. NAIL
- --- 1 1/4" IRON BAR



BEARINGS REFERENCED TO THE EAST LINE OF LOTS 1 & 2, GATEWAY CENTER, ASSUMED BEARINGS OF N02°01'54"W.



REAL LAND SURVEYING
 635 FAIRFAX ST.
 ALTOONA, WI 54720
 (715) 514-4116
 CADD No. 14036

SHEET 1 OF 2

PAGE _____

**CHIPPEWA CO. CERTIFIED SURVEY
MAP NO. _____**

RECORDED IN VOL. _____ OF CERTIFIED SURVEY MAPS PAGE _____

REGISTER

BEING ALL OF LOTS 3 & 4, CERTIFIED SURVEY MAP #4144, VOLUME 19, PAGES 7-8, FORERLY LOTS 1 AND 2, GATEWAY CENTER, AND LOT 2, CERTIFIED SURVEY MAP #3941, VOLUME 18, PAGES 50-51 LOCATED IN GOVERNMENT LOT 4 SECTION 12, T28N, R9W, CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, PETER J. GARTMANN, REGISTERED LAND SURVEYOR, HEREBY CERTIFY: THAT BY THE DIRECTION OF JOHN SCHEPPKE, I HAVE SURVEYED, DIVIDED AND MAPPED THE LAND PARCEL WHICH IS REPRESENTED BY THIS CERTIFIED SURVEY MAP. THAT THE EXTERIOR BOUNDARY OF THE LAND PARCEL SURVEYED AND MAPPED IS AS FOLLOWS: BEING ALL OF LOTS 3 & 4, CERTIFIED SURVEY MAP #4144, VOLUME 19, PAGES 7-8, FORERLY LOTS 1 AND 2, GATEWAY CENTER, AND LOT 2, CERTIFIED SURVEY MAP #3941, VOLUME 18, PAGES 50-51, LOCATED IN GOVERNMENT LOT 4, SECTION 12, T28N, R9W, CITY OF CHIPPEWA FALLS, CHIPPEWA COUNTY, WISCONSIN AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SW CORNER OF SAID LOT 3, CERTIFIED SURVEY MAP #4144; THENCE N.2°54'50"W. ALONG THE WEST LINE OF SAID LOT 3 & 4 CERTIFIED SURVEY MAP #4144, A DISTANCE OF 174.44 FEET; THENCE 45.24 FEET ALONG THE ARC OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 309.25 FEET AND A CHORD BEARING AND DISTANCE OF N.06°58'56"W. 45.19 FEET TO THE NE CORNER OF SAID LOT 4, CSM #4144; THENCE N.60°42'51"E. ALONG THE NORTH LINE OF SAID LOT 4, A DISTANCE OF 74.48 FEET; THENCE N02°25'17"W 17.29 FEET; THENCE N87°34'43"E 42.61 FEET; THENCE N89°20'14"E 63.87 FEET; THENCE N00°39'46"W 9.03 FEET; THENCE N889°20'14"E, ALONG THE NORTH LINE OF SAID LOT 4, A DISTANCE OF 25.00 FEET TO THE WEST RIGHT OF WAY LINE OF SUNSHINE CIRCLE; THENCE S02°01'54"E 279.99 FEET TO THE INTERSECTION WITH USH "53" AND THE SE CORNER OF SAID LOT 3; THENCE N80°54'10"W ALONG THE SOUTH LINE OF SAID LOT 3 A DISTNACE OF 24.84 FEET; THENCE S86°54'10"W ALONG THE SOUTH LINE OF SAID LOT 3 A DISTANCE OF 166.88 FEET TO THE POINT OF BEGINNING. BEING SUBJECT TO ALL EASEMENT, RESTRICTIONS AND COVENANTS OF THE PLAT OF GATEWAY CENTER.

THAT THIS CERTIFIED SURVEY MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY SURVEYED AND DESCRIBED, AND THE SUBDIVISION THEREOF. THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF THE CITY OF CHIPPEWA FALLS AND CHAPTER 38, LAND DIVISION ORDINANCE OF THE GENERAL CODE OF CHIPPEWA COUNTY, WISCONSIN IN SURVEYING AND MAPPING THE SAME.

_____ DATED THIS _____ DAY OF _____, 2014
PETER J. GARTMANN, R.L.S. 2279

CITY COUNCIL RESOLUTION

RESOLVED, THAT THIS CERTIFIED SURVEY MAP IN THE CITY OF CHIPPEWA FALLS, JOHN SCHEPPKE, OWNER, IS HEREBY APPROVED BY THE CITY COUNCIL.

_____ MAYOR _____ DATE _____

I HEREBY CERTIFY THAT THE FOREGOING IS A COPY OF A RESOLUTION ADOPTED BY THE CITY COUNCIL OF THE CITY OF CHIPPEWA FALLS

_____ CITY CLERK _____ DATE _____